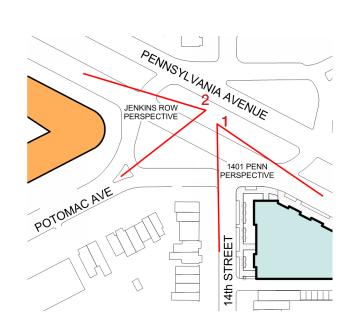
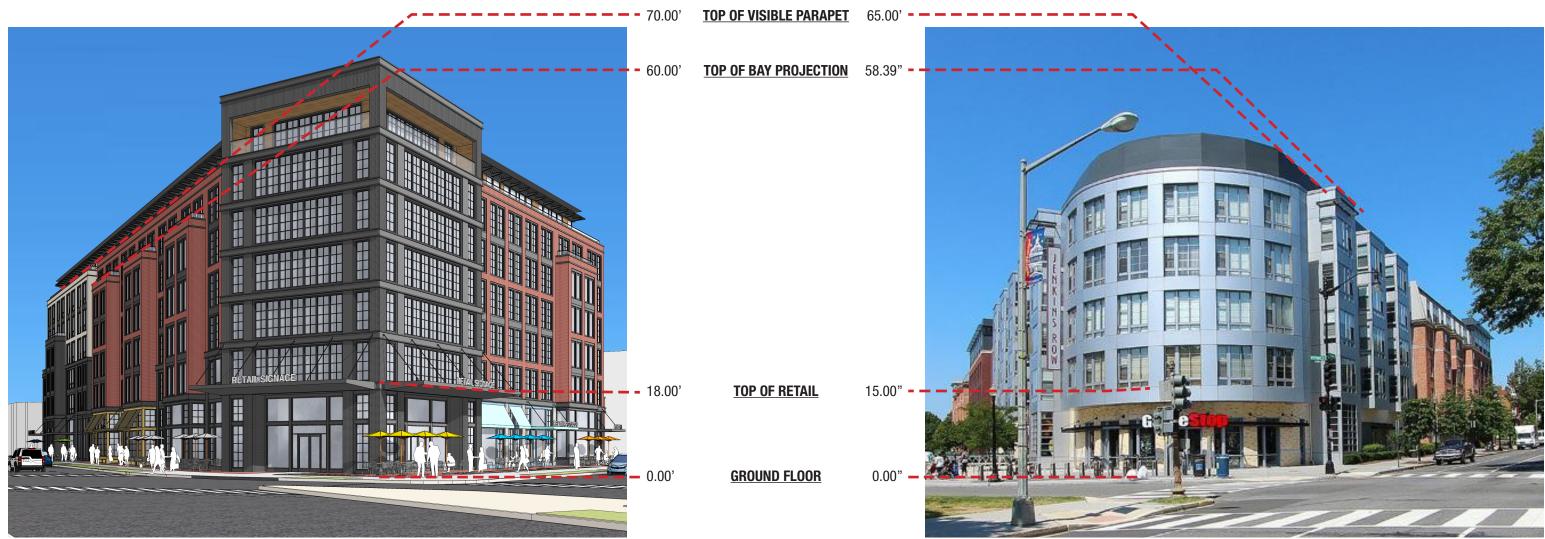
ARCHITECTURE **1401PENNSYLVANIA** CASRiegler ANTUNOVICH VALUE | URBAN | CHARACTER ACHTCHE FAUNUS HIDDOTECHE



KEY PLAN

VIEW 1: 1401 PENNSYLVANIA AVE



VIEW 2: JENKINS ROW







CASRiegler Antunovich

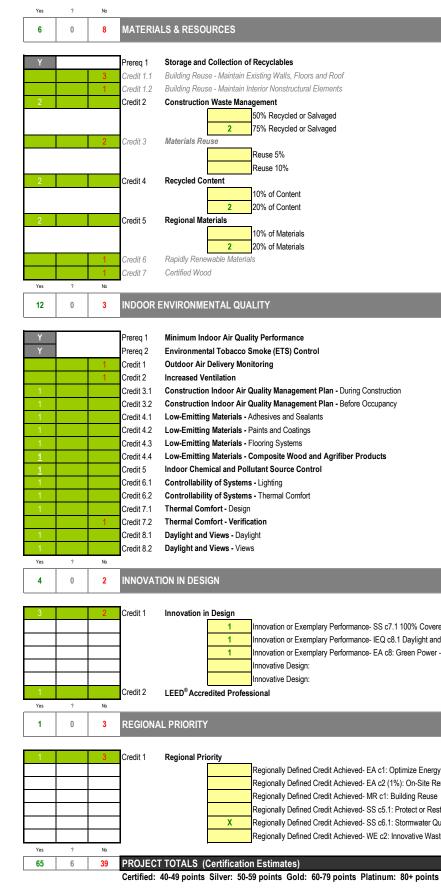
LEED 2009 for New Construction and Major Renovation Proiect Scorecard and Associated Tasks

1.LEED v3 rating system will remain available until October 2016

1401 Pennsylvania Ave SW Project Name:

Project Address: 1401 Pennsylvania Ave SW, Washington DC, 20003

Yes	?	No		
22	2	2	SUSTAINABLE SITES	26 Points
22	2	2	SUSTAINADLE STES	20 POINts
Y			Drang 1 Construction Activity Dollution Drayontion	Dominad
1			Prereq 1 Construction Activity Pollution Prevention Credit 1 Site Selection	Required 1
5			Credit 2 Development Density and Community Connectivity	5
Ň	1		Credit 3 Brownfield Redevelopment	1
6			Credit 4.1 Alternative Transportation - Public Transportation Access	6
1			Credit 4.2 Alternative Transportation - Bicycle Storage and Changing Rooms	1
3			Credit 4.3 Alternative Transportation - Low-Emitting and Fuel-Efficient Vehicles	3
2			Credit 4.4 Alternative Transportation - Parking Capacity	2
		1	Credit 5.1 Site Development - Protect or Restore Habitat	1
1			Credit 5.2 Site Development - Maximize Open Space	1
1			Credit 6.1 Stormwater Design - Quantity Control	1
	1		Credit 6.2 Stormwater Design - Quality Control	1
1			Credit 7.1 Heat Island Effect - Nonroof	1
1			Credit 7.2 Heat Island Effect - Roof	1
		1	Credit 8 Light Pollution Reduction	1
Yes	?	No		
6	2	2	WATER EFFICIENCY	10 Points
<u> </u>				4
Y			Prereq 1 Water Use Reduction	Required
2	2		Credit 1 Water Efficient Landscaping	2 to 4
			2 Reduce by 50%	2
			No Potable Water Use or Irrigation	4
		2	Credit 2 Innovative Wastewater Technologies	2
4			Credit 3 Water Use Reduction	2 to 4
			Reduce by 30%	2
			Reduce by 35%	3
			4 Reduce by 40%	4
Yes	?	No		
14	2	19	ENERGY & ATMOSPHERE	35 Points
Y			Prereq 1 Fundamental Commissioning of Building Energy Systems	Required
Y			Prereq 2 Minimum Energy Performance	Required
Y			Prereq 3 Fundamental Refrigerant Management	Required
5	2	12	Credit 1 Optimize Energy Performance	1 to 19
			Improve by 12% for New Buildings or 8% for Existing Building Renovations	1
			Improve by 14% for New Buildings or 10% for Existing Building Renovations	2
			Improve by 16% for New Buildings or 12% for Existing Building Renovations	3
			Improve by 18% for New Buildings or 14% for Existing Building Renovations 5 Improve by 20% for New Buildings or 16% for Existing Building Renovations	4
			Improve by 20% for New Buildings or 16% for Existing Building Renovations	5
			Improve by 22% for New Buildings or 10% for Existing Building Renovations	7
			Improve by 25% for New Buildings or 22% for Existing Building Renovations	8
			Improve by 28% for New Buildings or 24% for Existing Building Renovations	9
1			Improve by 30% for New Buildings or 26% for Existing Building Renovations	10
1			Improve by 32% for New Buildings or 28% for Existing Building Renovations	11
1			Improve by 34% for New Buildings or 30% for Existing Building Renovations	12
1			Improve by 36% for New Buildings or 32% for Existing Building Renovations	13
			Improve by 38% for New Buildings or 34% for Existing Building Renovations	14
		7	Credit 2 On-Site Renewable Energy	1 to 7
1			1% Renewable Energy	1
			3% Renewable Energy	2
2			Credit 3 Enhanced Commissioning	2
2			Credit 4 Enhanced Refrigerant Management	2
3			Credit 5 Measurement and Verification Credit 6 Green Power	3 2
2				



1401PENNSYLVANIA ARCHITECTURE

LEED CHECKLIST

November 4, 2015

40

	110	Points
c2: Innovative Wastewater Technologies	1	
c6.1: Stormwater Quantitiy Control	1	
c5.1: Protect or Restore Green Habitat	1	
c1: Building Reuse	1	
c2 (1%): On-Site Renewable Energy	1	
c1: Optimize Energy @ 40%	1	
	1 to 4	

	1 to 5
SS c7.1 100% Covered parking spaces	1
EQ c8.1 Daylight and Views- Daylighting 95%	1
EA c8: Green Power -100% building electrical usage	1
	1
	1
	1

	Required
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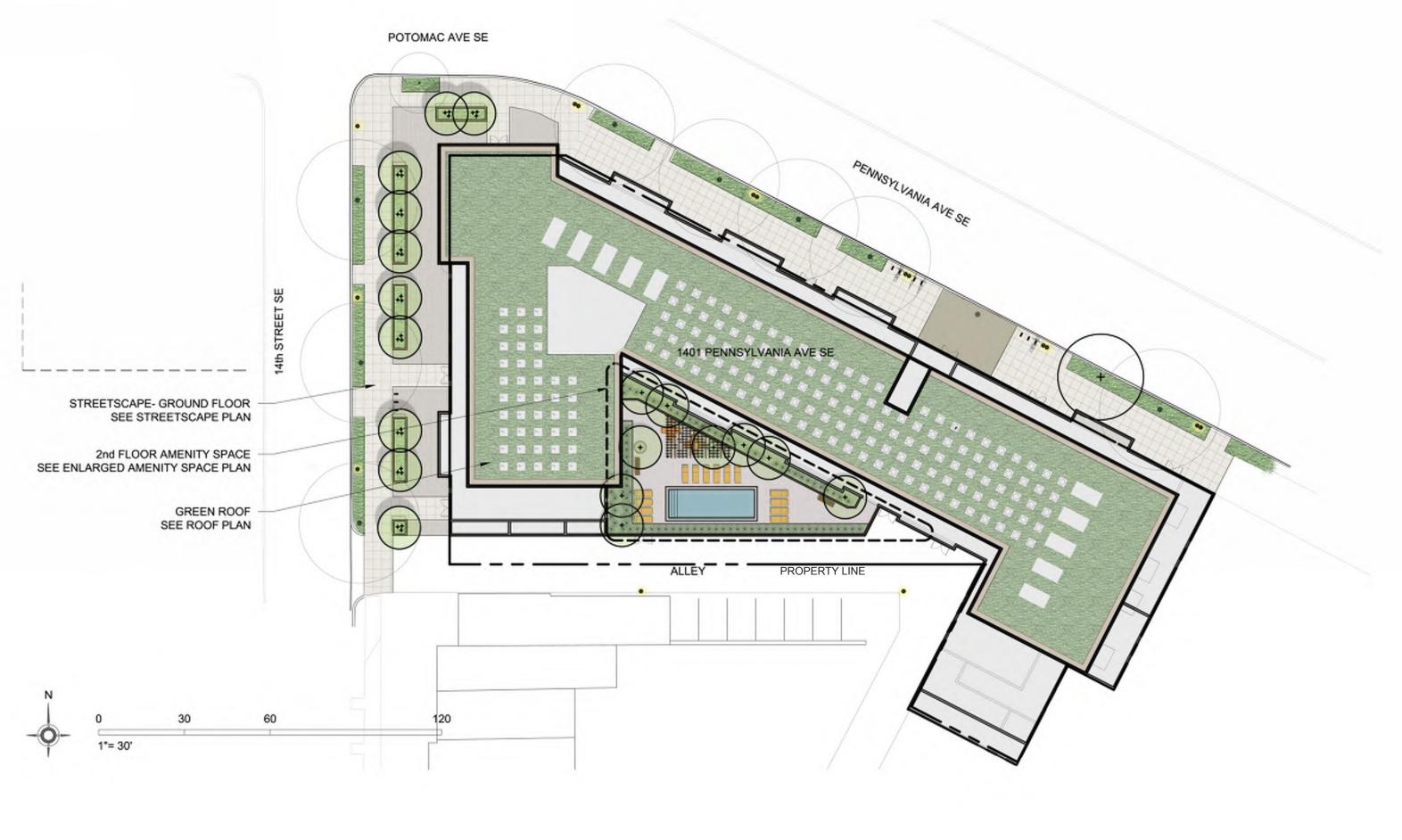
Required
1 to 3
1
1 to 2
1
2
1 to 2
1
2
1 to 2
1
2
1 to 2
1
2
1

6 Points

4 Points

14 Points

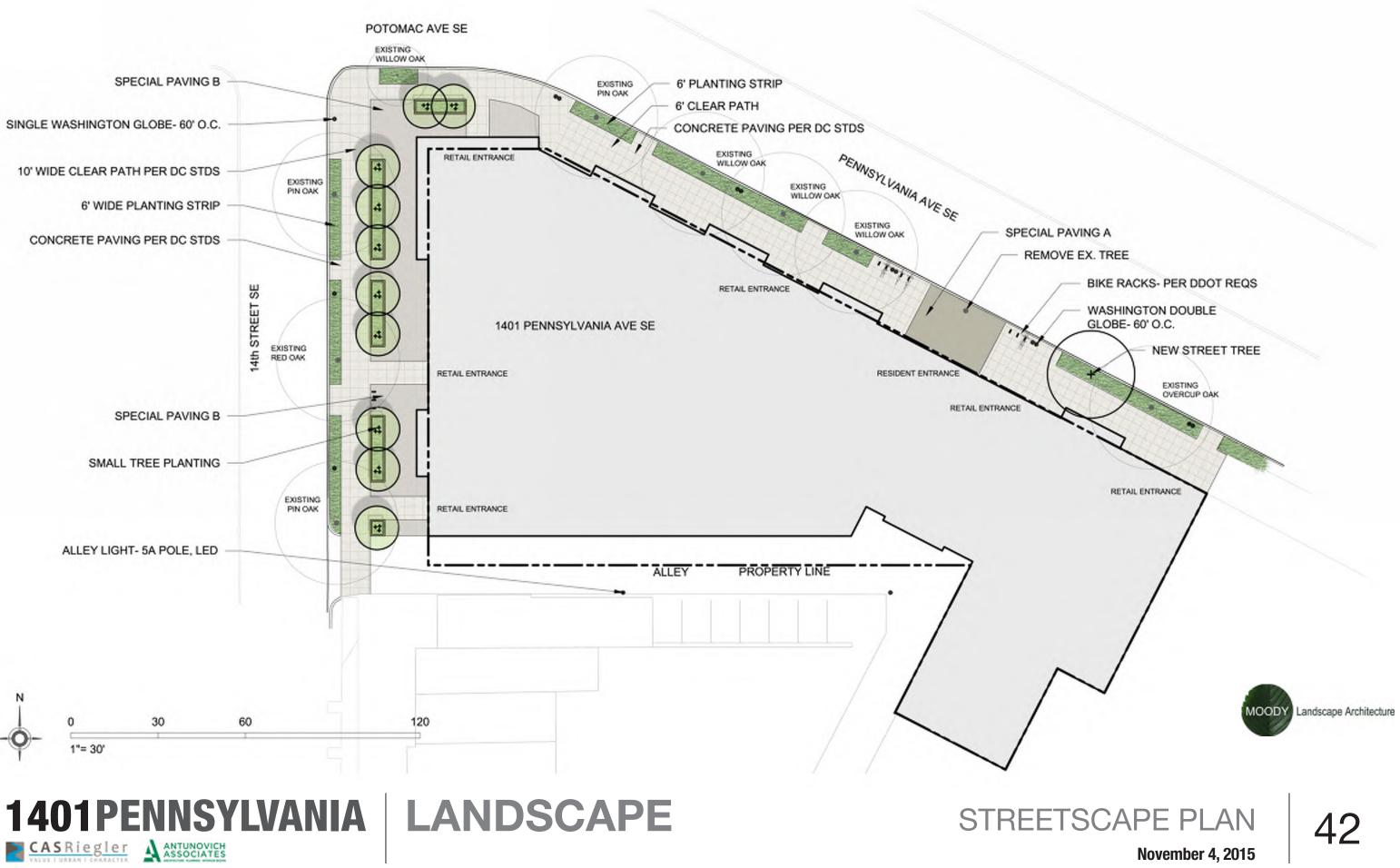
Points		

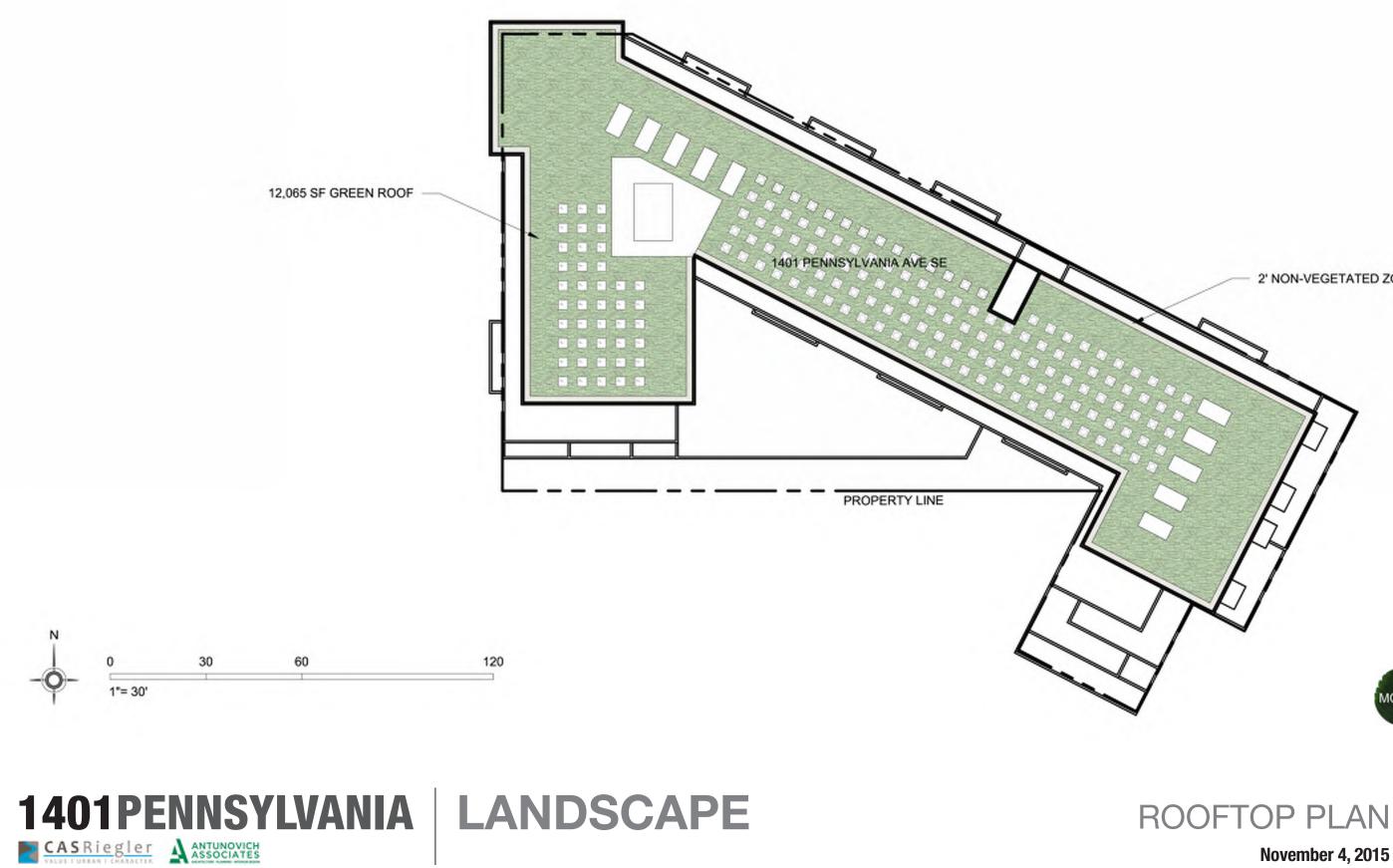


1401PENNSYLVANIA LANDSCAPE CASRiegler ANTUNOVICH



41









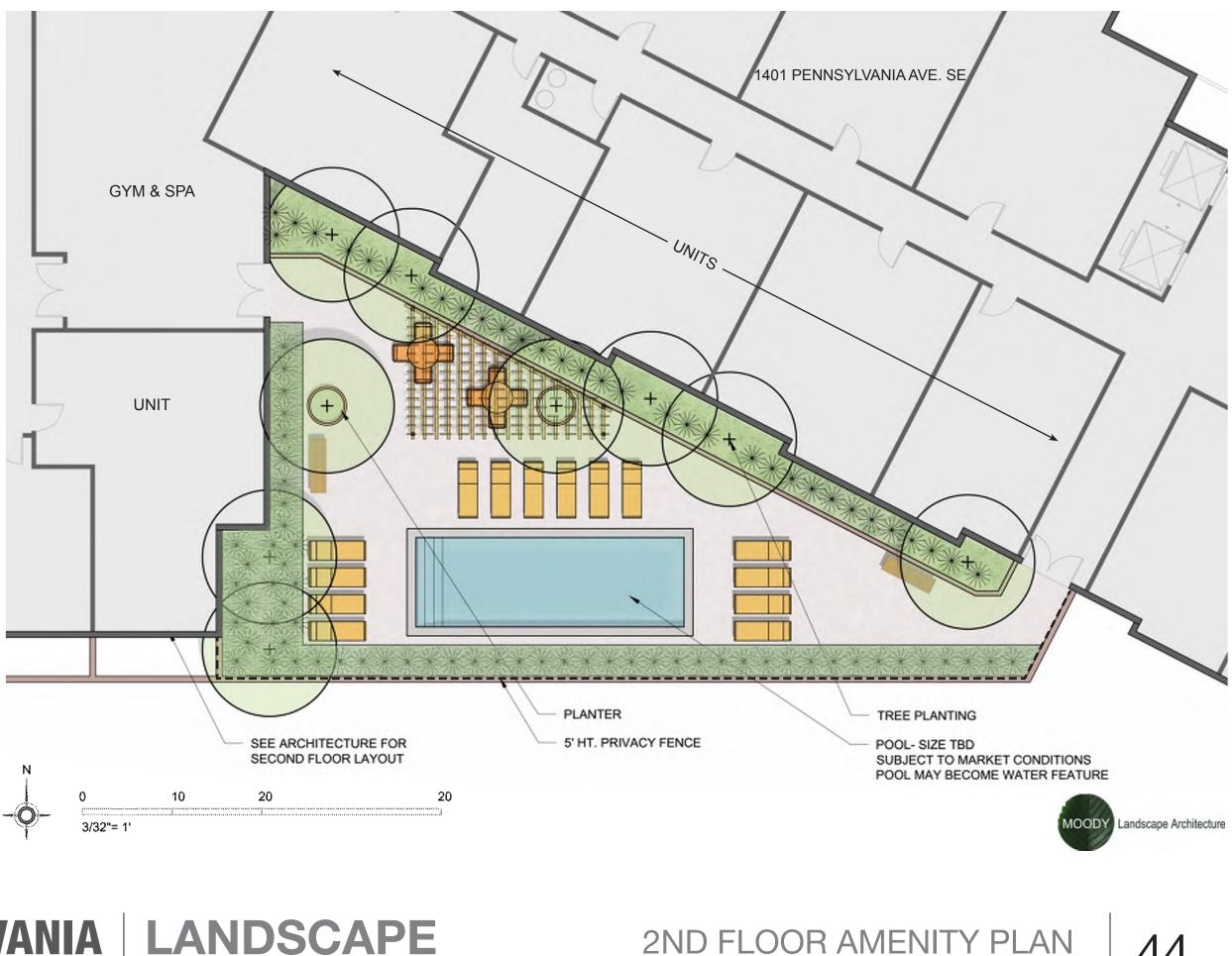


GROUND LEVEL

- 10' WIDTH EASEMENT -**ENLARGEMENT TO EXISTING** PUBLIC ALLEY
- CAFÉ SPACE
- TREE PLANTING

SECOND LEVEL

- SWIMMING POOL
- DECK WITH SEATING
- SHADE STRUCTURE
- PLANTERS



1401PENNSYLVANIA LANDSCAPE CASRiegler Antunovich

November 4, 2015

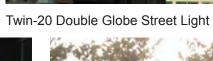
44

Washington Globe Street Light

Small Tree Planting in Raised Planter

CASRiegler ANTUNOVICH

Planting Strip









DC Standard Concrete Paving

1401PENNSYLVANIA LANDSCAPE STREETSCAPE PRECEDENTS & MATS

Special Paving





Trash Receptacle



















Special Paving





November 4, 2015

45





Columnar Hornbeam Carpinus betulus 'Frans Fontaine'

Sweetbay Magnolia Magnolia virgininiana 'Moonglow'



Switchgrass Panicum virgatum

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Green Mountain Boxwood Buxus x 'Green Mountain'



Liriope Liriope spicata



Green Roof Precedent Image



Oakleaf Hydrangea *Hydrangea quercifolia*





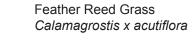
St. Johns Wort Hypericum perforatum

Autumn Stonecrop Sedum 'Matrona'



Green Roof Precedent Image





1401PENNSYLVANIA LANDSCAPE



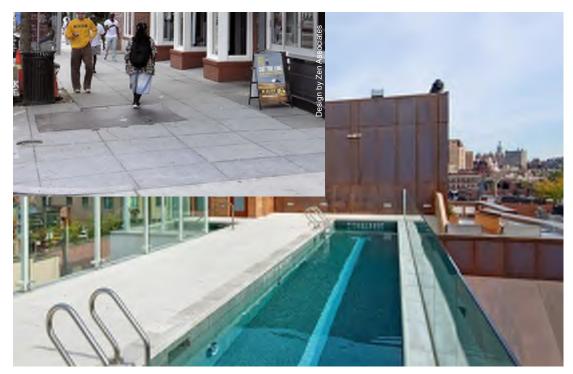
Yarrow Achillea millefolium



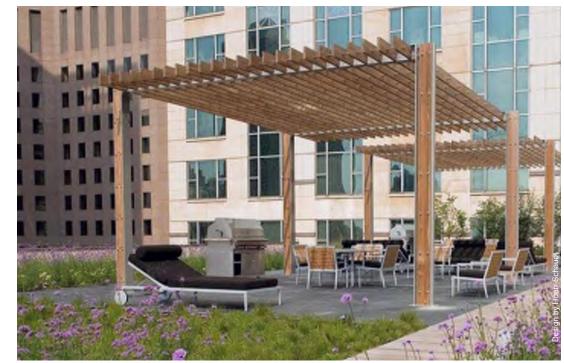




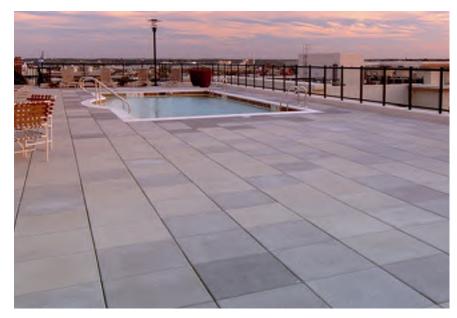




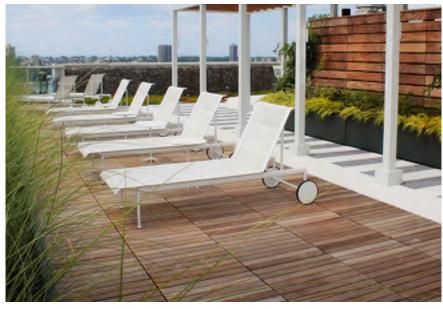
Pool (inclusion subject to market conditions)



Shade Structure



Pavers



Wood Deck





Planters



Planters



Wood Bench







DEMOLITION NOTES:

- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR SHUTOFF, CAPPING AND CONTINUATION OF UTILITY SERVICES AS
- CONTRACTOR SHALL REMOVE AND TRANSPORT ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM ALL DEMOLITION OPERATIONS TO A LEGAL DISPOSAL OFF SITE.
- REMOVAL OF ASPHALT AND CONCRETE PAVEMENT SHALL INCLUDE THE REMOVAL OF ALL SURFACE, BASE AND SUBBASE MATERIALS
- EXISTING CONDITIONS SHOWN HEREON WERE TAKEN FROM A SURVEY PREPARED BY AMT LLC, ENTITLED, "BOUNDARY AND TOPOGRAPH SURVEY, 1401-1433 PENNSYLVANIA AVE. S.E., LOTS 142, 30-33, 820 IN SQ. 1065", DATED 03/09/15, AND FROM AVAILABLE UTILIT
- ALL UNDERGROUND UTILITY LOCATIONS, INCLUDING WATER, STORM DRAINAGE, SANITARY SWERF, ELECTRICAL, TELEPHONE AND GAS WERE TAKEN FROM AVAILABLE RECORDS AND FIELD VERIFIED WHERE POSSIBLE THE LOCATION OF ALL UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PROR TO COMMENCING WORK, REPORT ANY DISCREPANCY TO THE ENGINEER. MARKING LOCATIONS OF EXISTING UTILITIES, CONTACT WINS UTILITY AT (800) 257-7777, 48-HOURS PRIOR TO ANY EXCAVATION.
- 6. THE CONTRACTOR MUST HAND_DIG TEST PITS AT ALL UTLITY CROSSINGE TO DETERMINE THE EXACT LOCATION AND DEPTH OF ALL DITLIDES & WELL MY DEDUCTION TORE AND ADDR TO CROSSING PITE MATERIALS AND STRUCTORE UTLIDES FOUND ENDING DEMOLITION OR CONSTRUCTION ACTIVITES SHALL BE THE RESPONSIBILITY OF ANY CONTRACTOR ENGAGED IN EXCAVATION AT THIS SITE. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY UTILY FINDINGS WHICH DEVATE FROM THE CONTINUES SHOWN.
- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE STAPT OF ANY EXCAVATION AND/OR DEMOLITION AS PER DISTRICT OF COLUMBIA EROSION AND CONTROL HANDBOOK. IF ANY ONSTE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED. REFER TO SHEETS C1.02, C5.01 AND C5.02 SEDIMENTATION AND EROSION CONTROL PLANS, NOTES, AND DETAILS.
- 8. SEE SEDIMENTATION AND EROSION CONTROL PLAN FOR ALL EXISTING TREES TO REMAIN AND
- NOTE PROXIMITY OF ADJACENT STRUCTURES AND UTILITY LINES AND MAINTAIN CONTINUED SERVICE DURING CONSTRUCTION. COORDINATE WITH RESPECTIVE UTILITY COMPANIES AND ENGINEER SHOULD RELOCATION OF SERVICE BE REQUIRED.
- 10. EXISTING UTILITIES (STRUCTURES AND LINES) NOT REQUIRED FOR FUTURE SERVICE TO BE REMOVED TO FACILITATE CONSTRUCTION, UTILITIES TO BE CAPPED AS PER UTILITY PURVEYOR'S STANDARDS AND SPECIFICATIONS. COORDINATE REQUIREMENTS WITH UTILITY PURVEYOR'S
- 11. REMOVAL OF ALL WALLS/RETAINING WALLS AND FENCES SHALL INCLUDE THE REMOVAL OF THEIR FOUNDATION UNLESS OTHERWISE INDICATED ON THESE DRAWINGS.
- ALL EXISTING DC STREETLIGHT POLES THAT ARE BEING PERMANENTLY REMOVED MUST BE RETURNED IN GOOD CONDITION TO THE DISTRICT OF COLUMBIA WAREHOUSE AT 1735 15TH STREET NE OFF WEST VIRGINIA AVENUE CONTACT NUMBER (202) 576–5258.
- EXISTING WATER AND SEWER SERVICES NOT RECUIRED FOR FUTURE USE TO BE REMOVED TO EXTENT NECESSARY TO FACULTATE WE CONSTRUCTION. REMAINDER OF SERVICE TO BE CAPPED AT MAIN AND EXISTING VALVES AND TEES TO BE REMOVED PER DC. WATER STANDARDS SPECIFICATIONS.COORDINATE. REQUIREMENTS WITH DC. WATER UTILITY INSPECTOR AT (202) 787-4299. PAVEMENT TO BE REMOVED DER INSTRUCT DC. ILLINGA DE REMEMENTS WITH DC. WATER UTILITY INSPECTOR AT (202) 787-4299. PAVEMENT TO BE
- 14. CONTRACTOR TO BE RESPONSIBLE FOR LAYOUT, EXTENT AND DESIGN OF SHEETING, SHORING AND SUPPORT OF EXISTING UTILITIES AN ADJACENT STRUCTURES, SHORING, BRACING AND UNDERPINNING SHALL BE DESIGNED BY A STRUCTURAL ENGINEER, LICENSED IN THE DISTINCT OF COLUMBIA, HIRED BY THE CONTRACTOR AS NECESSARY TO ENSURE SUPPORT OF SURROUNDING STRUCTURES AND
- 15. CONTRACTOR TO RELOCATE PARKING METERS IF REQUIRED AND AS DIRECTED BY D.C. BUREAU OF PARKING. COORDINATE REQUIREMEN WITH LARRY BROWN OF PARKING SERVICES AT (202) 671-2291.
- 16. NOTIFY DC WATER AT (202) 787-4299 48 HOURS PRIOR TO START OF CONSTRUCTION
- UNLESS OTHERWISE SHOWN ON THESE DRAWINGS, EXISTING PAVEMENT ON 14TH STREET, SE, POTOMAC AVENUE, SE, AND PENNSYLVANIA AVENUE, SE TO REMAIN, PROVIDE PRE-CONSTRUCTION VIDEO OF EXISTING PAVEMENT ON 14TH STREET, SE, POTOMAC AVENUE, SE, AND PENNSYLVANIA AVENUE, SE EXISTING PAVEMENT THAT IS DISTURBED OR DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED FER DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AT NO ADDITIONAL COST.
- 18. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES VERIFY INVERT ELEVATION OF EXISTING UTILITIES. NOTIFY ENGINEER OF ANY DISCREPANCIES WITH INFORMATION SHOWN PRIOR TO ORDERING ANY STRUCTURES.
- 'MISS UTILITY' AT (800) 257-7777 48 HOURS PRIOR TO CONSTRUCTIO
- TACT DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION-PUBLIC SPACE MAINTENANCE ADMINISTRATION 48 HOURS PRIOF START OF CONSTRUCTION AT (202) 645-6030 OR (202) 645-6031.
- ROPOSED UTILITY WORK TO BE PERFORMED UNDER THE INSPECTION OF DC WAT
- 22. USE MANHOLE ENTRY SEALS WHERE REQUIRED
- 23. CONTRACTOR TO PROVIDE A PRE AND POST TV VIDEO SEWER ON EXISTING SEWER AROUND THE SITE PER DC WATER STANDARDS AND SPECIFICATIONS.

SITE NOTES:

- WHERE NEW WORK MEETS EXISTING, NOTE FIELD LOCATION AND ELEVATIONS OF EXISTING FEATURES BEFORE BEGINNING CONSTRUCTION AND REPORT ANY DISCREPANCY TO THE ARCHITECT OR ENGINEER.
- VERIFY LOCATION OF EXISTING UTILITIES BEFORE PROCEEDING WITH WORK. NOTIFY OWNER'S REPRESENTATIVE, DC WATER (202-787-4299) AND "MISS UTILIT" (1-800-257-7777) 49 HOURS BEFORE PROCEEDING WITH ANY EXCAVATIONS. HAND DIG TEST PITS AT ALL UTILITY CRESSINGS AND DETERMINE EXACT CLEARANCE OF ALL PROPOSED INSTALLATIONS WELL IN ADVANCE OF CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS WITH PLAN ELEVATIONS.
- 3. WORK AND MATERIALS IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE APPLICABLE DISTRICT COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS. ON-SITE WORK AND MATERIALS CODE.
- 4. ELEVATIONS SHOWN HEREON ARE BASED ON D.C. DATUM. 5. DIMENSIONS ARE TO FACE OF WALL AND CURB, EDGE OF WALK AND PAVEMENT, CENTERLINE OF COLUMN, PIPE AND UTILITY STRUCTURE. UNLESS OTHERWISE NOTED.
- 6. FRAMES AND COVERS OF EXISTING STRUCTURES TO BE ADJUSTED TO MATCH NEW FINISHED GRADES.

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- OMISSIONS AND/OR ADDITIONS OF UTILITIES FOUND DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY OF ANY INFORMATION CONCERNING FOUND UTILITY, NOT SHOWN ON PLANS
- 8. EXISTING SURFACE CONDITIONS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO MATCH EXISTING CONDITIONS. CONTRACTOR TO COORDINATE EXTENT WITH ARCHITECT OR ENGINEER.
- TEST PITS ARE REQUIRED AT ALL LOCATIONS) WHERE PROPOSED UTILITIES CROSS EXISTING UTILITIES. INVESTIGATIONS) TO IDENTIFY HORIZONTAL LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES. THE ENGINEER IS TO BE NOTIFIED OF THIS INFORMATION.
- 10. IF A 1' MINIMUM VERTICAL CLEARANCE CAN NOT BE MAINTAINED AT UTILITY CROSSING, THE CONTRACTOR IS TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH WORK
- 12. ALL DEBRIS AND EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED OFF-SITE LOCATION.
- 13. ALL ON-SITE WATER LINES TO HAVE A MINIMUM COVER OF 4'-0". WATER FITTINGS SHALL BE PROPERLY TIED AND ANCHORED, PER DO WATER STANDARDS AND SPECIFICATIONS.
- 14. WHERE PORTIONS OF EXISTING BITUMINOUS OR CONCRETE PAVING ARE TO BE REMOVED, THE EXISTING PAVEMENT SHALL BE SAW-CUT 15. REMOVE FRAMES AND COVERS OF SEWER MANHOEE/INEETS AND/OR WATER MAIN VALVE CASTINGS TO BE ABANDONED AND FILL TO GRADE.
- 16. ALL CURB SPOT SHOTS ARE TOP OF CURB UNLESS OTHERWISE NOTED. 17. NOTIFY WASHINGTON GAS AT (202) 750-4205, 48 HOURS PRIOR TO ANY EXCAVATION IN THE VICINITY OF ANY TRANSMISSION MAIN. FOR FURTHER INFORMATION OR PROBLEMS, CONTACT ME CHUCK WHITEY AT WASHINGTON GAS AT (703) 750-4205.
- 17. PROVIDE A MINIMUM OF 5 FEET HORIZONTAL AND 1 FOOT VERTICAL CLEARANCE BETWEEN 12" DIAMETER AND SMALLER DISTRIBUTION EXISTING GAS FACILITIES AND PROPOSED FACILITIES.
- 18. PROVIDE A MINIMUM OF 5 FEET HORIZONTAL AND 2 FEET VERTICAL CLEARANCE BETWEEN 16" DIAMETER OR GREAT GAS FACILITIES AND PROPOSED FACILITIES. 19. ALL PROPOSED WORK TO BE CONSTRUCTED IN ACCORDANCE WITH LATEST STANDARDS AND SPECIFICATIONS OF THE DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION AND WATER AND SEWER AUTHORITY.
- 20. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING SIDEWALK, CURB AND GUTTER TO REMAIN OR TO REPLACE SIDEWALK, CURB AND GUTTER DAMAGED DURING CONSTRUCTION.
- 21. EXISTING FULL DEPTH PAVEMENT SECTION, CURB AND GUTTER TO BE REMOVED AND REPLACED TO EXTENT NECESSARY TO FACILITATE CONSTRUCTION OF NEW UTILITIES. MATERIALS TO COMPLY WITH DISTRICT OF COLUMBIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SOFERICA TIONS

1401PENNSYLVANIA CIVIL

DC WATER STANDARD CONSTRUCTION NOTES:

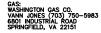
- CONTACT: NOTIFY THE FOLLOWING DC WATER DEPARTMENTS PRIOR TO THE COMMENCEMENT OF UTILITY
- RUCTION: NSTRUCTION INSPECTION SECTION AT (202) 787-4024 AT LEAST TWO WEEKS RIGR TO THE COMMENCEMENT OF UTILITY CONSTRUCTION TO SCHEDULE E-CONSTRUCTION MEETING: TER SERVICES AT (202) 612-3400 OR 3460 AT LEAST ONE WEEK PRIOR TO E COMMENCEMENT OF UTILITY CONSTRUCTION. MER SERVICES AT (202) 264-3824 OR 3829 AT LEAST ONE WEEK PRIOR TO E COMMENCEMENT OF UTILITY CONSTRUCTION.

- STANDARDS: ALL CONSTRUCTION, MATERIALS, AND APPURTENANCES SHALL COMPLY WITH THE LATEST EDITIONS OF THE DC WATER PROJECT DESIGN MANUAL, STANDARD DETAILS & DESIGN GUIDELINES, AND SPECIFICATIONS.
- LEAD SERVICE REPLACEMENT: IF THIS PROJECT INCLUDES THE REPLACEMENT OF A WATER MAIN THAT HAS EXISTING LEAD WATER SERVICE LATERALS, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE DC WATER CONSTRUCTION INSPECTION SECTION AT (202) 787-4024 AT LEAST 90 DAYS PRIOR TO CONSTRUCTION TO ALLOW ADEQUATE TIME TO INITIATE STANDARD LEAD SERVICE REPLACEMENT PROTOCOL. LATERAL REPLACEMENT INCLUDES THE FULL LENGTH OF PIPE IN PUBLIC SPACE.
- R RESPONSIBILITY: THE OWNER IS RESPONSIBLE FOR ALL WORK AND COSTS ASSOCIATED WITH ANTON, INSTALLATION, AND RESTORATION OF PUBLIC SPACE TO PERFORM A WATER /SEWE ECTION /ABANDONNENT. ONCE THE CONTRACTOR HAS OBTAINED A PUBLIC SPACE PERMIT HE /SWE THEN CONTACT DC WATER PRIOR TO PERFORMING THE EXCAVATION TO INSTALL/INSPECT THE Y WORK. THE OWNER SHALL BE HELD RESPONSIBLE FOR ALL DAMAGES TO EXISTING STRUCTURES JILLIES CAUSED BY CONSTRUCTION ACTIVITY.
- DC WATER RESPONSIBILITY: DC WATER IS RESPONSIBLE FOR INSTALLATION OF SMALL WATER SERVICE TAPS (2" DIAMETER AND LESS) TO THE PUBLIC MAIN, SMALL WATER SERVICE TAP REMOVALS FROM THE PUBLIC MAIN, FURNISHING & INSTALLING THE METER IN PUBLIC SPACE, AND INSPECTION OF WORK PERFORMED ON THE PUBLIC SYSTEMS.
- MISS UTILITY: CONTACT MISS UTILITY AT (800) 257-7777 48 HOURS BEFORE ANY DIGGING.
- PLAN SET: A SET OF SIGNED & SEALED AND DC WATER STAMPED PLANS SHALL BE KEPT AT ALL TIMES AT THE JOB SITE ON WHICH ALL CHANGES OR VARIATIONS IN THE WORK, INCLUDING ALL EXISTING UTURIES, ARE FOR DE RECORDED AND/OR CORRECTED DAILY.
- ABANDONMENTS: THE OWNER MUST PHYSICALLY DISCONNECT EXISTING WATER, SEWER, AND STORN LATERALS THAT ARE ARE TO BE ABANDONED AT THEIR CONNECTION TO THE PUBLIC MAIN.
- UNMETERED WATER: THERE SHALL BE NO UNMETERED CONNECTIONS TO THE CITY'S WATER SYSTEI INCLUDING CONNECTIONS BYPASSING METERS FOR TESTING ON-SITE PLUMBING OR FOR OBTAINING CONSTRUCTION WATER 10. PRESSURE TESTING AGAINST VALVES: PRESSURE TESTING AGAINST VALVES WILL NOT BE ALLOWED
- 11. WATER METER INSTALLATION: TO SCHEDULE THE INSTALLATION OF A DOMESTIC WATER-METER CONTACT PERMIT OPERATIONS AT (202) 646-8600. DC WATER MULL FURNISH AND INSTALL THE METER AFTER THE CONNECTION TO THE MAIN HAS BEEN MADE AND THE METER PIT/VAULT HAS BEEN INSTALLED.
- CROSS CONTAMINATION CONTROL: ASSE 1048 CERTIFIED BACKFLOW PREVENTION ARE REQUIRED ON ALL FIRE SERVICES AND ARE TO BE LOCATED INSIDE THE BULDING (UNLESS AN EXTERNAL LOCATION IS NECESSARY OR REQUIRED BY DC WATER VMERE IT IS SUPPLIED, OWNED, OPERATED, AND MAINTAINED BY THE OWNER. DC WATER DOES NOT FURNISH NOR INSTALL FIRE DOUBLE CHECK DETECTOR FIRE PROTECTION BACKFLOW PREVENTION ASSEMBLES.
- UTILITY SERVICE DISRUPTIONS: PHASE ALL UTILITY WORK TO MAINTAIN UTILITY SERVICES TO THE SURROUNDING AREA DURING ALL PHASES OF CONSTRUCTION, LIMIT REQUIRED UTILITY SHUT-DOWNS IN NUMBER AND DURATION. COORDINATE THESE SHUT DOWNS WITH DC WATER CONSTRUCTION INSPECTION STAFF.
- WATER VALVE OPERATION: THE CONTRACTOR IS REQUIRED TO COORDINATE WITH DC WATER FOR ALL NECESSARY WATER MAIN SHUT DOWNS WITH ADEQUATE ADVANCED NOTICE. ONLY DC WATER EMPLOYEES MAY SHUT DOWN A PUBLIC WATER MAIN. A CERTIFIED PLUMBER IS ONLY AUTHORIZED TO TURN OFF VALVES INSIDE METER PITS.
- WATER GATE VALVE LOCATION: LOCATE GATE VALVES FOR DOMESTIC AND FIRE SERVICES AS CLOSE TO THE PUBLIC WATER MAIN TEE AS POSSIBLE HOWEVER, IF NECESSARY ADJUSTMENTS ARE REQUIRED DUE TO CONFLICTS, COORDINATE WITH A DC WATER INSPECTOR.
- MATERIAL: THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING SHOP CUTS TO THE APPROPR WATER OFFICE FOR APPROVAL OR OBTINNING A DC WATER APPROVAL STAMP FOR ALL WORK PUBLIC SPACE IN ADVANCE OF INSTALLATION. ONLY APPROVED MATERIALS MAY BE USED. TEMPORARY CONDITIONS MINIMUM COVER: A NOMINAL FOUR FEET OF COVER IS REQUIRED FOR ALL WATER MAINS AT FINAL GRADE. COVER OF LESS THAN FOUR FEET REQUIRES DC WATER APPROVAL
- DEVELOPERS, CONTRACTORS AND/OR PLUMBERS MUST SUBMIT FINAL CONSTRUCTION INFORMATION TO THE APPROPRIATE DC WATER INSPECTOR(S) FOR REVIEW AND APPROVAL PLETION OF INSTALLATION OF NEW SERVICES OR ABANDONMENT OF EXISTING SERVICES. FINAL AS-BUILT IS APPROVED THE DEPOSIT WILL BE RETURNED TO THE APPLICANT. SEE AS-BUILT REQUIREMENTS FOR ADDITIONAL INFORMATION.
- FIRE HYDRANT USE: THE USE OF A FIRE HYDRANT AS A WATER SOURCE IS PROHIBITED UNLESS A PERMIT HAS BEEN OBTAINED FROM DC WATER FOR USE OF A SPECIFIC HYDRANT(S). DAILY OR EXTENDED USE PERMITS CAN BE OBTAINED FROM DC WATER PERMIT OPERATIONS DEPARTMENT (202) 646-B600.
- 21. FIRE HYDRANT STATUS: THE CONTRACTOR SHALL NOTIFY FEMS AT (202) 277-1889, PRIOR TO TAKIN ANY FIRE HYDRANT OUT OF SERVICE OR RENDERING ANY HYDRANT INACCESSIBLE FOR ANY REASON. FEMS IS ALSO TO BE PROVIDED WITH THE LOCATION OF ANY NEW INSTALLATION OF PRIVATE FIRE HYDRANTS.
- 22. DC WATER SAFETY OFFICE: THE DC WATER SAFETY OFFICE CAN BE CONTACTED AT (202) 787-4350.
- 23. SEWER BACKWATER PREVENTION: THE PLUMBING SYSTEM MUST BE IN COMPLIANCE WITH SECTION 715 OF THE 2006 INTERNATIONAL PLUMBING CODE WHICH STATES A BACKWATER VALVE IS REQUIRED FOR ALL PLUMBING FIXTURES BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEVER.

UTILITY CONTACTS:

- SEWER/WATER: DC WATER (202) 787-4299 5000 OVERLOOK AVE. SW 5TH FLOOR WASHINGTON, DC 20032

PEPCO FRED JOHNSON (202) 872-2833 701 9TH STREET NW, ROOM 6005 WASHINGTON, DC 20068





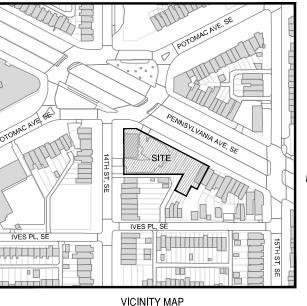
Communications: Verizon communications Divina Yancey (301) 282-7736 13101 COLUMBIA PIKE CONDUIT GROUP - LOWER LEVEL SILVER SPRING MD 20904



CONFLICTS: THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF PROPOSED UTILITIES. A MINIMUM OF ONE FOOT VERTICAL AND FIVE FEET HORIZONTAL CLEARANCE FROM OTHER UTILITIES SHALL BE MAINTAINED FROM ANY UTILITIES AND PUBLIC WATER AND SEWER MAINS.

SCALE: 1" = 300'

ABBREVIATIONS: ABBREVIATIONS: APPROX APPROXIMATE ASPH ASPHALT ASPH ASPHALT ASPH ASPHALT ASPH ASPHALT ASPH ASPHALT ASPH ASPHALT CONTIGUINE CORRUCTED WETAL PIPE CORRUCATED WETAL PIPE CLEAN OUT CONCRETE DUCTLE IRON PIPE DATE DOWNO LANE EAST BOUND LANE EAST BOUND LANE ELECTRIC ELECTRIC ELECTRIC ELECTRIC ELECTRIC EUTATANCE EDGIPMENT EAST BOUND ENTRANCE ENTRA CENTERLINE CORRUGATED METAL PIPE UNDER CORP DALLER DEST CORP. C MANHOLE OVERHEAD OVERHEAD PORTLAND CEMENT CONCRETE PROPOSED PAVEMENT SANITARY SEWER STANDARD SIDEWALK TOP. OC. CLIER TOP OF CURB TELEPHONE TEST PIT OR TREE PROTECTION TOP OF WALL OR TAILWATER UTILITY POLE TEL TP TW UGE UGE UGE UGE UGE UGE UTUITY POLE UNDERGROUND UNDERGROUND ELECTRIC UNDERGROUND CABLE UNDERGROUND CABLE UNDERDRAIN WATER LINE WATER METER



1401-1433 PENNSYLVANIA AVENUE, SE SQUARE 1065; LOTS 142, 30-33, 820 WASHINGTON, DC

CIVIL DRAWING LIST - PUD:

- C1.00 C1.01 COVER SHEET
- COVER SHEET EXISTING CONDITIONS PLAN EROSION AND SEDIMENT CONTROL PLAN SITE PLAN GRADING PLAN UTILITY PLAN
- C1.02 C1.03 C1.04 C1.05 C5.01
- EROSION AND SEDIMENT CONTROL NOTES EROSION AND SEDIMENT CONTROL DETAILS C5.02
- C7.01 STORMWATER MANAGEMENT PLAN

PROJECT NARRATIVE:

THE PROJECT CONSISTS OF THE DEVELOPMENT OF A RESIDENTIAL BUILDING AND ASSOCIATED UNROVCENENTS THE CORENT OF PENNENTY VANIA AVENUE SE POTOMAR AVENUE SE, AND 14TH STREET SE, THE SITE WILL BE SERVICED BY HEW WATER F PROTECTOR, STORM DRAIN, AND SANTARY SEWER SERVICES. SITE ACCESS TO BELOW GRADE PARKING SHALL BE OFF A PARTLY PUBLIC AND PARTLY PRIVATE A WHICH WILL BE CONSTRUCTED IN PARTLY THIT THIS PROJECT.

ENGINEER

CIVIL ENGINEER BOWMAN CONSULTING GROUP 2121 EISENHOWER AVENUE, SUITE 302 ALEXANDRIA, VIRGINIA 22314 (703) 548-5781 OJECT MANAGER: MATTHEW SENENMAN, P.E. INCIPAL: MARK S. STIRES. P.E.

LEGEND

EXISTING

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November 4, 2015

INDEX CONTOUR NTERMEDIATE CONTO EDGE OF PAVEMENT CURB AND GUTTER TRANSITION ROPOSED HEADER CUR PROPERTY LINE LOT LINE RIGHT-OF-WA EASEMENT WATER LINE WATER VALVE REDUCER SANITARY SEWE STORM SEWER CABLE TV RIC SERVICE-UNDERGR CTRIC SERVICE-OVERHEAD VERHEAD TELEPHONE TELEPHONE SERVICE GAS LINE SPOT ELEVATION UTILITY POLE GUY POLE TRANSFORMER SIGN iitary sewer identifief torm drain identifier WATER METER FIRE HYDRANT STREET LIGHT TEST PIT LOCATION HANDICAP RAME TREE

CONCRETE SIDEWALK



COVER SHEET

48

LINE TABLE - LOT 142						
	SURVEYED		RECORD			
LINE #	DIRECTION	LENGTH	DIRECTION	LENGTH		
L1	N 90'00'00" E	40.66'	N 90'00'00" E	40.00'		
L2	S 62°27'00" E	132.02'	S 62°17'55" E	131.17		
L3	S 27'33'00" W	92.42'	S 27°42'05" W	92.64'		
L4	N 90'00'00" W	114.96'	N 90'00'00" W	113.07'		
L5	N 00'00'00" E	143.00'	N 00°00'00" E	143.00'		
AREA	17,227 SQ.FT. OR	0.39548 AC.	17,020 SQ.FT. OR	0.39073 AC.		

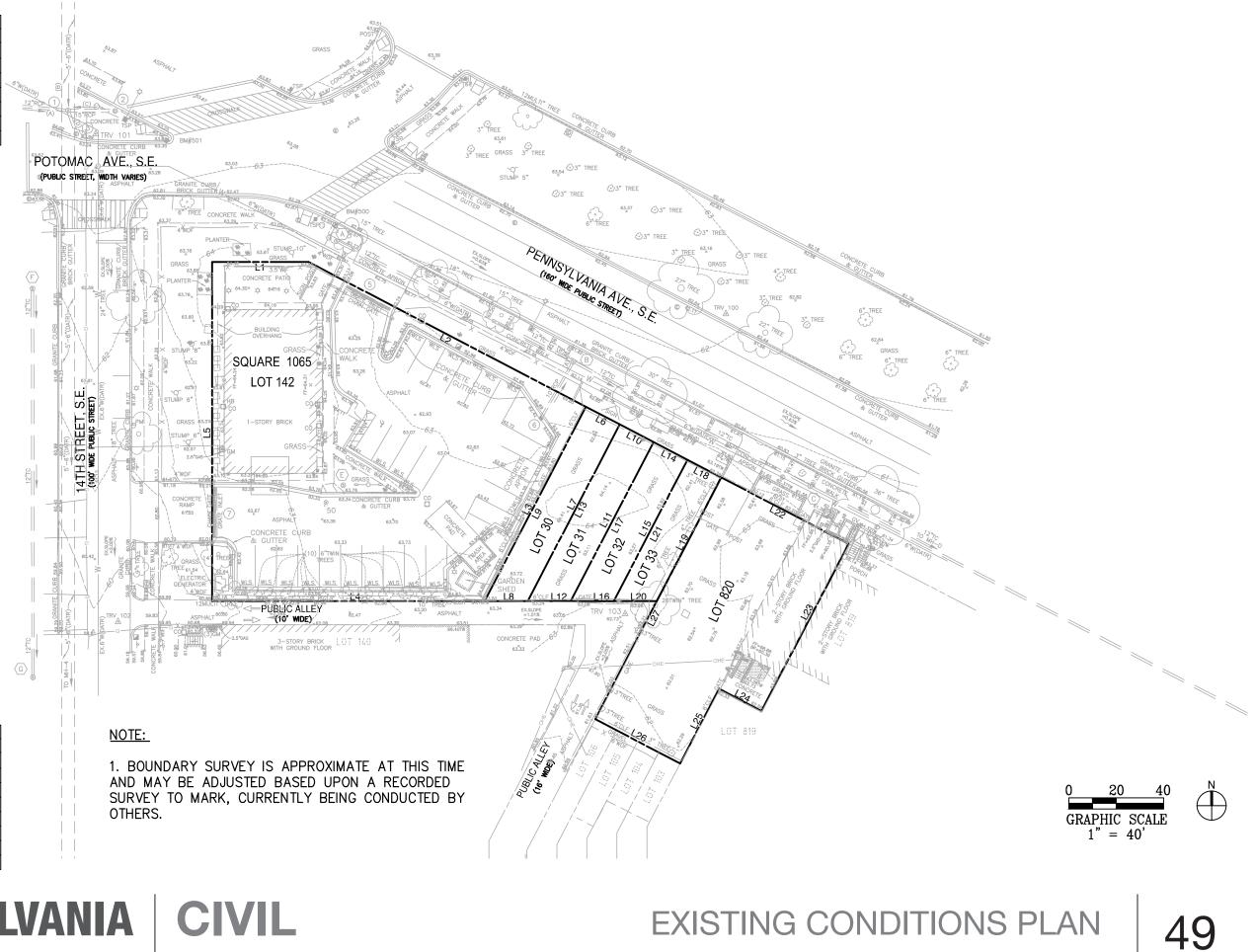
LINE TABLE - LOT 30						
I INF #	SURVEYED		RECORD			
LINE #	DIRECTION	LENGTH	DIRECTION	LENGTH		
L6	S 62°27'00" E	16.10'	S 62°17'55" E	16.00'		
L7	S 27'33'00" W	84.02'	S 27'42'05" W	84.24'		
L8	N 90°00'00" W	18.16'	N 90°00'00" W	18.07'		
L9	N 27'33'00" E	92.42'	N 27'42'05" E	92.64'		
AREA	1,420 SQ.FT. OR 0.	03260 AC.	1,415 SQ.FT. OR	0.03248 AC.		

	LINE TABLE - LOT 31						
	SURVEYED		RECORD				
LINE #	DIRECTION	LENGTH	DIRECTION	LENGTH			
L10	S 62°27'00" E	16.10'	S 62°17'55" E	16.00'			
L11	S 27'33'00" W	75.61'	S 27'42'05" W	75.84'			
L12	N 90.00,00, M	18.16'	N 90°00'00" W	18.07'			
L13	N 27.33'00" E	84.02'	N 27°42'05" E	84.24'			
AREA	1,285 SQ.FT. OR 0.	02950 AC.	1,281 SQ.FT. OR (0.02941 AC.			

	LINE TABLE - LOT 32					
LINE #	SURVEYED		RECORD			
LINE #	DIRECTION	LENGTH	DIRECTION	LENGTH		
L14	S 62°27'00" E	16.10'	S 62°17'55" E	16.00'		
L15	S 27'33'00" W	67.21'	S 27'42'05" W	67.44'		
L16	N 90'00'00" W	18.16'	N 90'00'00" W	18.07'		
L17	N 27'33'00" E	75.61'	N 27'42'05" E	75.84'		
AREA	1,150 SQ.FT. OR 0.	02640 AC.	1,146 SQ.FT. OR	0.02631 AC.		

LINE TABLE - LOT 33					
	SURVEYED		RECORD		
LINE #	DIRECTION	LENGTH	DIRECTION	LENGTH	
L18	S 62°27'00" E	16.10'	S 62°17'55" E	16.00'	
L19	S 27'33'00" W	58.81'	S 27'42'05" W	59.04'	
L20	N 90'00'00" W	18.16'	N 90°00'00" W	18.07'	
L21	N 27'33'00" E	67.21'	N 27'42'05" E	67.44'	
AREA	1,015 SQ.FT. OR 0.02330 AC.		1,012 SQ.FT. OR	0.02323 AC.	

LINE TABLE - LOT 820						
	SURVEYED		RECORD			
LINE #	DIRECTION	LENGTH	DIRECTION	LENGTH		
L22	S 62'27'00" E	60.60'	S 62°17'55" E	60.00'		
L23	S 27'33'00" W	79.54'	S 27°42'05" W	79.78'		
L24	N 62°27'00" W	20.20'	N 62°17'55" W	20.00'		
L25	S 27'33'00" W	35.46'	S 27°42'05" W	35.22'		
L26	N 62°27'00" W	40.40'	N 62°17'55" W	40.00'		
L27	N 27'33'00" E	115.00'	N 27°42'05" E	115.00'		
AREA	6,253 SQ.FT. OR	0.14354 AC.	6,196 SQ.FT. OR	0.14224 AC.		



1401 PENNSYLVANIA CIVIL CASRiegler Antunovich

EXISTING CONDITIONS PLAN

SEDIMENT AND EROSION CONTROL NARRATIVE: INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES, CONCRETE ENTRACE AND EXISTING CURB RAMPS. DURING DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTRACT DC DEPARTMENT OF THE ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION MEETING.

AREA OF DISTURBANCE:

TOTAL SITE AREA: 28,098 SF (0.645 ACRES) AREA TO BE DISTURBED: 40,618 SF (0.933 ACRES) VOLUME OF EARTH TO BE REMOVED: ±12,488 CY (ASSUMING 12' OF EXCAVATION OVER FOOTPRINT)

SEDIMENT AND EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
- 2. PROVIDE SILT FENCE AT THE PERIMETER OF DISTURBED AREA OR EXCAVATION TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR OTHERWISE APPROVED BY THE INSPECTOR.
- 3. PROVIDE CONSTRUCTION FENCE AT THE PERIMETER OF DISTURBED AREA OR EXCAVATION TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR OTHERWISE APPROVED BY THE INSPECTOR.
- CONTRACTOR TO MAINTAIN ON-SITE STAMPED AND SIGNED, SEDIMENT AND EROSION CONTROL DRAWINGS APPROVED BY THE DEPARTMENT OF THE ENVIRONMENT, WATERSHED PROTECTION DIVISION.
- THE APPLICATION MUST NOTIFY THE DEPARTMENT OF THE ENVIRONMENT BY PHONE (202-535-2250) AT LEAST 24 HOURS PRIOR TO START OF GRADING ACTIVITY AND WITHIN TWO (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DEPARTMENT OF THE ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY.

- CONSTRUCTION AND STABILIZATION SEQUENCE: 1. CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION. INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING
- STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET. SEE SHEET C5.02 FOR SEDIMENT AND EROSION CONTROL DETAILS.
- SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES.
- DISCONNECT UTILITIES AND RAZE BUILDING TO SURFACE. AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

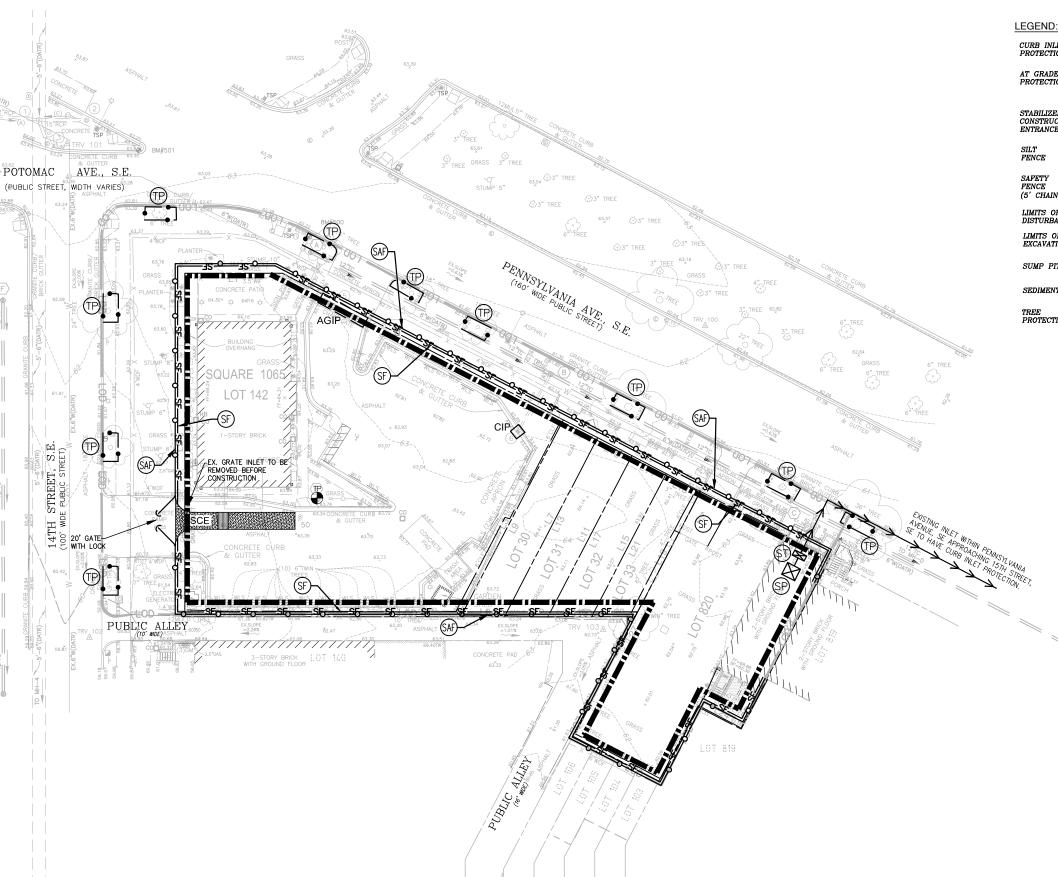
CONSTRUCTION DATES:

- THE PROPOSED WORK DUE TO COMMENCE IN THE SPRING OF 2017 AND IS ANTICIPATED TO TAKE APPROXIMATELY 12 MONTHS. EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE
- ESTABLISHED BY THE OWNER.

DUST CONTROL NOTES:

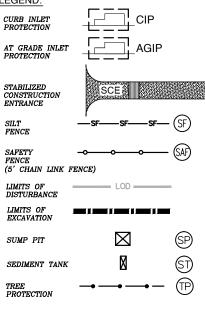
- THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
- THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
- THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLY OF ACCESSING ALL WORK AREAS. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES
- DURING ACTIVE CONSTRUCTION PERIODS ON SITE. THESE MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
- FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, TH CONTRACTOR SHALL: A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR,
- PUMP WITH DISCHARGE PRESSURE GAUGE;
- B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING, AND SPRAY PATTERN
- TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER; C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE
- CONDITIONS SUCH AS PONDING.
- FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITIONS AND/OR EXCAVATION, THE CONTRACTOR SHALL:
- A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGES, HOSES, AND MIST NOZZLES; B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE DISTURBED AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP

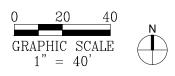
WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING: C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.



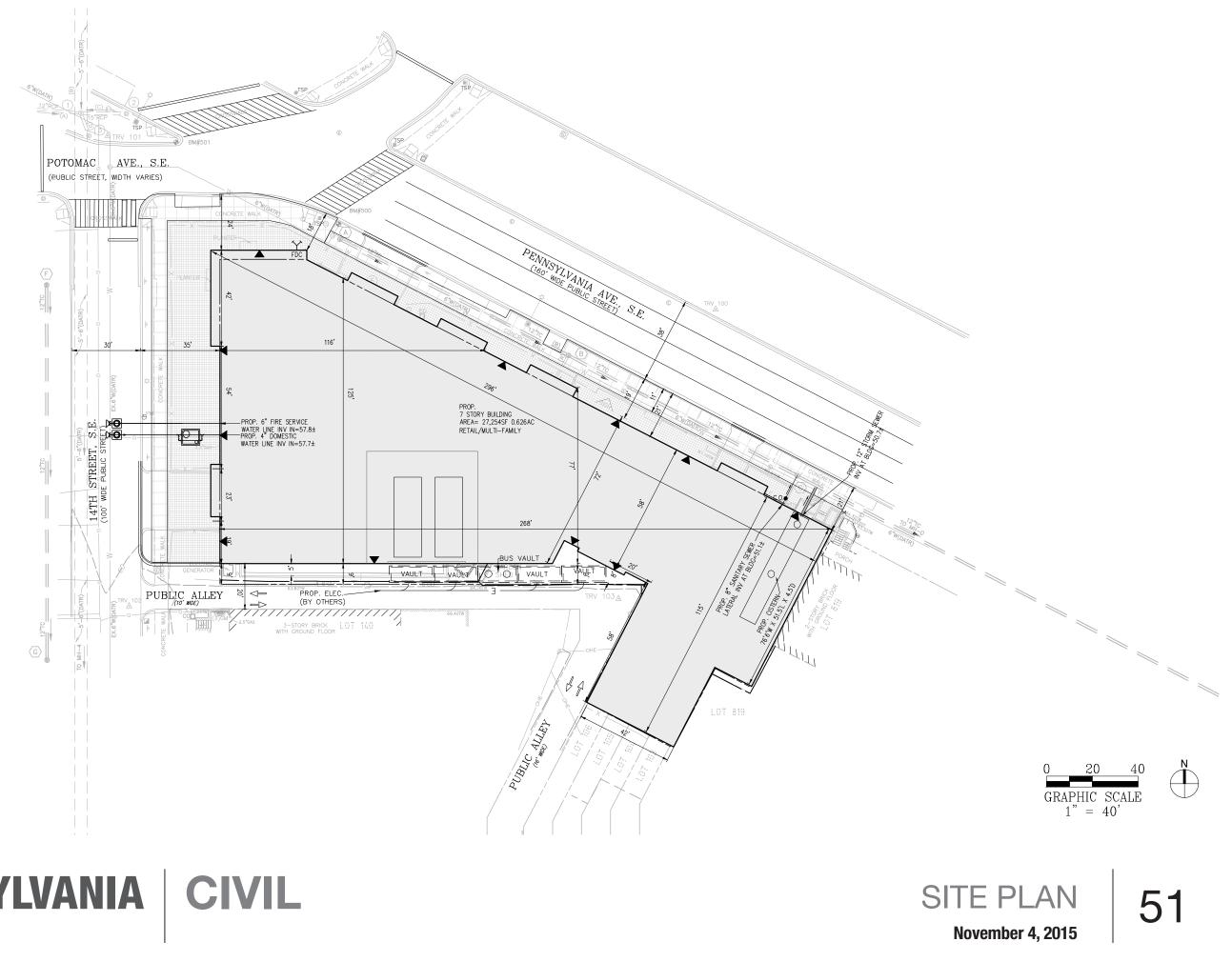
1401PENNSYLVANIA CIVIL CASRiegler ASSOCIATES

EROSION AND SEDIMENT CONTROL PLAN

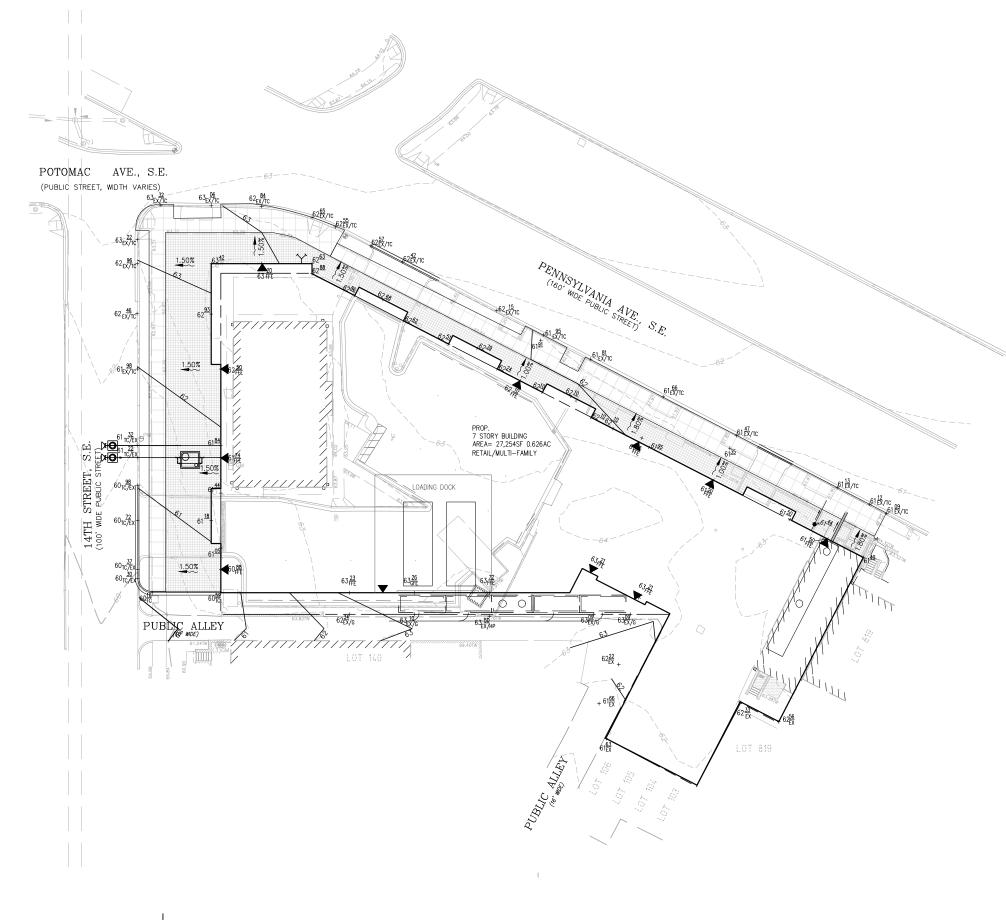




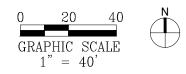




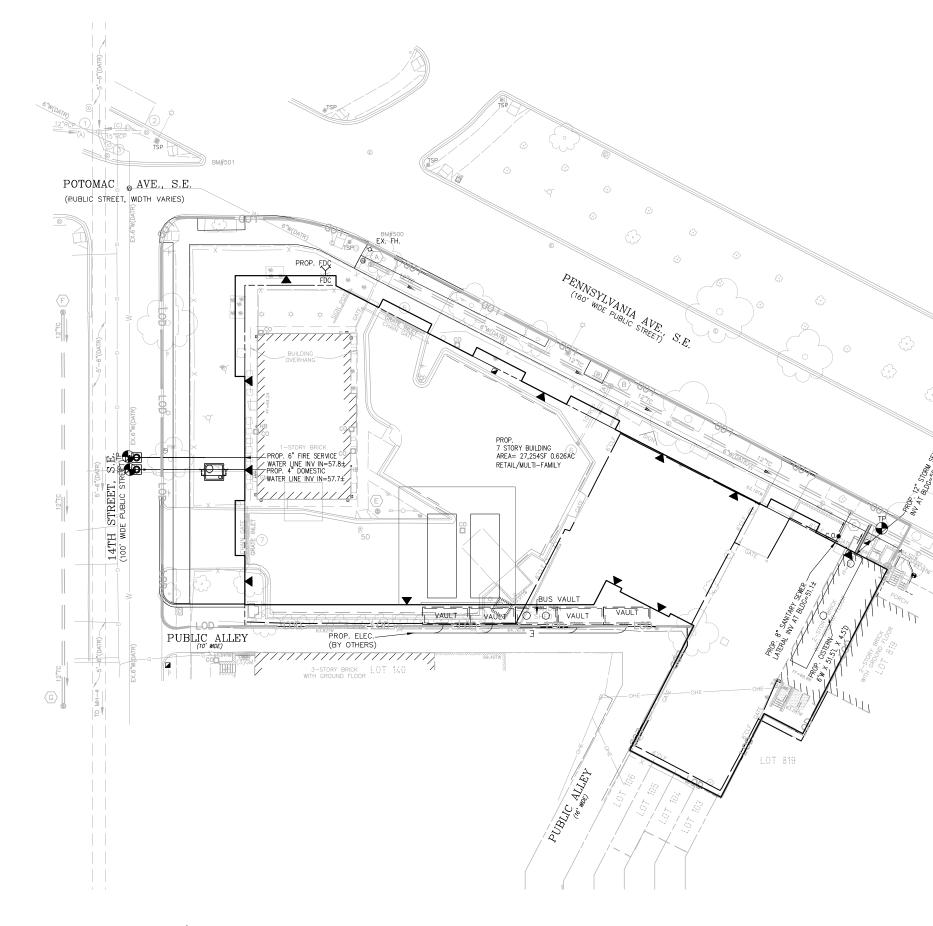
1401PENNSYLVANIA CIVIL CASRiegler ANTUNOVICH



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1401PENNSYLVANIA CIVIL

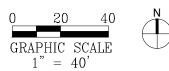
WATER AND SEWER DEMAND:

WATER: (170 GPD PER UNIT X 173 UNITS) + (34.8 GPD PER SEAT X 940 SEATS) = 62,122 GPD

SEWER: 62,122 GPD = 0.096 CFS

NOTE:

DEMANDS ARE BASED ON AVERAGE WASTEWATER FLOW FACTOR PER WSSC PIPELINE DESIGN MANUAL OF 2008. ALL RETAIL IS ASSUMED TO BE RESTAURANT.





STANDARDS AND SPECIFICATIONS FOR DUST CONTROL:

THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THRO THE WORK AT THE SITE

WORK AT THE STE. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLY OF ACCESSING ALL

NORK AREAS. 4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE

CONSTRUCTION PERIODS ON SITE. THESE MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.

5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES. THE CONTRACTOR SHALL

A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING, AND SPRAY PATTERN TO PROVIDE

COMPLETE COVERAGE OF GROUND WITH WATER:

COMPETE COVERAGE OF GROUND WITH WATER, C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING. 6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITIONS AND/OR EXCAVATION, THE KEEP AREAS DAME INTERNATION OF A SUBJECT AND A SUBJECT AND

HOSES, AND MIST NOZZLES; B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE DISTURBED AREA CAN BE B. LOCATE TANK AND SPRAYING EQUIPMENT OR PERATORS.

KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING; C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES

DISTRICT OF COLUMBIA STANDARD SEDIMENT CONTROL NOTES:

- 1. ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF IN EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY THE SAME HALL BE PROVIDED
- SHALL BE PROVIDED. ALL DEBRIS TO BE REMOVED FROM SITE. ALLEY AND/OR STREETS SHALL BE SWEPT CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION. ALL CATCH BASINS AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
- ONSTRUCTION 5. IF ANY CATCH BASIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR
- CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING WHEN A SEDIMENT TRAP/SEDIMENT TANK HAS REACHED 67% CAPACITY, CLEAN OUT OF SAME
- S REQUIRED. ANY STOCKPILING, REGARDLESS OF LOCATION ON THE SITE, SHALL BE STABILIZED WITHIN 28 7. DAYS AFTER ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT

37.0 STANDARDS AND SPECIFICATIONS FOR LAND GRADING:

DEFINITION: RESHAPING OF THE EXISTING LAND SURFACE IN ACCORDANCE WITH A PLAN AS DETERMINED BY ENGINEERING SURVEY AND LAYOUT

PURPOSE: THE PURPOSE OF LAND GRADING SPECIFICATIONS IS TO PROVIDE FOR EROSION CONTROL AND VEGETATIVE ESTABLISHMENT ON THOSE AREAS WHERE THE EXISTING LAND SURFACE IS TO BE RESHAPED BY GRADING ACCORDING TO A PLAN.

DESIGN CRITERIA: THE GRADING PLAN SHOULD BE BASED UPON THE INCORPORATION OF BUILDING DESIGN CONTERIA: THE URADING PLAN SHOULD BE BASED UPON THE INCORPORATION OF BOILDING DESIGNS AND STEET LAYOUTS THAT FIT AND UTLIZE EXISTING FORORAPHY AND DESIRABLE NATURAL SURROUNDINGS TO AVOID EXTREME GRADE MODIFICATIONS. INFORMATION TO DETERMINE LIMITATIONS THAT MUST BE IMPOSED UPON THE GRADING OPERATION RELATED TO SLOPE STABILITY, EFFECT ON AUACENT PROPERTIES, AND DRAINAGE PATTERNS, MEASURES FOR DRAINAGE AND WATER REMOVAL AND VEGETATIVE TREATMENT, ETC.

THE PLAN MUST SHOW EXISTING AND PROPOSED CONTOURS OF THE AREA(S) TO BE GRADED. THE

SHALL ALSO INCLUDE PRACTICES FOR EROSION CONTROL, SLOPE STABILIZATION, SAFE DISPOSAL OF WATER AND DRAINAGE, SUCH AS WATERWAYS, LINED DITCHES, REVERSE SLOPE BENCHES (INCLUDE

GRADE AND CROSS SECTION), GRADE STABILIZATION STRUCTURES, RETAINING WALLS, AND SURFACE

SUBSURFACE DRAINS. THE PLAN SHALL ALSO INCLUDE PHASING OF THESE PRACTICES. THE FOLLOWIN SHALL BE INCORPORATED INTO THE PLAN

- PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE RUNOFF TO STORM DRAINS, PROTECTED OUTLETS OR TO STABLE WATER COURSES TO INSURE THAT SURFACE RUNOFF WILL NOT DAMAGE SLOPES OR OTHER GRADED AREAS.
- 2. CUT AND FILL SLOPES THAT ARE TO BE STABILIZED WITH GRASSES SHALL NOT BE STEEPER THAN 2:1. (WHERE THE SLOPE IS TO BE MOWED THE SLOPE SHOULD BE NO STEEPER THAN 3:1; 4:1 IS PREFERRED BECAUSE OF SAFETY FACTORS RELATED TO MOWING STEEP SLOPES.) SLOPES EXCEEDING 2:1 SHALL REQUIRE SPECIAL DESIGN AND STABILIZATION CONSIDERATIONS THAT SHALL BE ADEQUATELY SHOWN ON THE PLANS.
- 3. REVERSE BENCHES SHALL BE PROVIDED WHENEVER THE VERTICAL INTERVAL (HEIGHT) OF ANY 2:1 ACUERS BENCHES SHALL BE FRAVILED MICREVER HE VERHAL INTERVAL (HEIGHT) OF ANT 21 SLOPE EXCEEDS 20 FEET; FOR 31 SLOPE IT SHALL BE INDERSED TO 30 FEET AND FOR 42 HT 40 FEET. BENCHES SHALL BE LOCATED TO DIVIDE THE SLOPE FACE AS EQUALLY AS POSSIBLE AND SHALL CONVEY THE WATER TO A STABLE OUTLET. SUILS, SEEPS, ROCK OUTCROPS, ETC., SHALL ALSO BE TAKEN INTO CONSIDERATION WHEN DESIGNING BENCHES.

A. BENCHES SHALL BE A MINIMUM OF SIX-FEET WIDE TO PROVIDE FOR EASE OF MAINTENANCE

B. BENCHES SHALL BE DESIGNED WITH A REVERSE SLOPE OF 6:1 OR FLATTER TO THE TOE OF THE UPPER SLOPE AND WITH A MINIMUM OF ONE FOOT IN DEPTH. BENCH GRADIENT TO THE OUTLET SHALL BE BETWEEN 2 PERCENT AND 3 PERCENT, UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS.

C. THE FLOW LENGTH WITHIN A BENCH SHALL NOT EXCEED 800' UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS. FOR FLOW CHANNEL STABILIZATION, SEE TEMPORARY

37.0 STANDARDS AND SPECIFICATIONS FOR LAND GRADING: 38.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL, CONT.: III FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES 4. SURFACE WATER SHALL BE DIVERTED FROM THE FACE OF ALL CUT AND/OR FILL SLOPES BY THE USE OF EARTH DIKES, DITCHES AND SWALES OR CONVEYED DOWNSLOPE BY THE USE OF A DESIGNED STRUCTURE, EXCEPT WHERE: i. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 42.0 VEGETATIVE STABILIZATION – SECTION I – VEGETATIVE STABILIZATION METHOD AND MATERIALS. A. THE FACE OF THE SLOPE IS OR SHALL BE STABILIZED AND THE FACE OF ALL GRADED SLOPES SHALL BE PROTECTED FROM SURFACE RUNOFF UNTIL THEY ARE STABILIZED. IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES: SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME B. THE FACE OF THE SLOPE SHALL NOT BE SUBJECT TO ANY CONCENTRATE FLOWS OF AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: SURFACE WATER SUCH AS FROM NATURAL DRAINAGEWAYS, GRADED SWALES, DOWNSPOUTS, a. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0. SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER. C. THE FACE OF THE SLOPE WILL BE PROTECTED BY SPECIAL EROSION CONTROL MATERIALS, TO INCLUDE, BUT NOT LIMITED TO: APPROVED VECETATIVE STABILIZATION PRACTICES (SEE SECTION G), RIP-RAP OR OTHER APPROVED STABILIZATION METHODS. b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT. c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE CUT SLOPES OCCURRING IN RIPABLE ROCK SHALL BE SERRATED AS SHOWN IN DETAIL 70, SERRATED SLOPES ON THE FOLLOWING DIAGRAM. THESE SERRATIONS SHALL BE MADE WITH CONVENTIONAL EQUIPMENT AS THE EXCAVATION IS MADE. EACH STEP OR SERRATION SHALL BE CONSTRUCTED ON THE CONTOUR AND WILL HAVE STEPS CUT AT NOMINAL IND-FOOT INTERVALS WITH NOMINAL THREE-FOOT HORIZONTAL SHELVES. THESE STEPS WILL VARY DEPENDING ON THE SLOPE RATIO OR THE CUT SLOPE. THE MONINAL SLOPE LINE IS 15:51. THESE STEPS WILL WEATHER AND ACT TO HOLD MOSTURE, LINE, FERILIZER AND SEED THIS DEPOLICYCL A MICH OUNCER DAN LONGER LINE VIECTATIVE ONCE MAD BETTEP d. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISEPATION OF PHYTO-TOXIC MATERIALS. NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL THUS PRODUCING A MUCH QUICKER AND LONGER LIVED VEGETATIVE COVER AND BETTER SCIENTIST AND APPROVED BY THE WATERHED PROTECTION AGENCY, MAY BE USED IN LIEU OF NATURAL SLOPE STABILIZATION. OVERLAND FLOW SHALL BE DIVERTED FROM THE TOP OF ALL TOPSOIL SERRATED CUT SLOPES AND CARRIED TO A SUITABLE OUTLET. II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 42.0 VEGETATIVE 6 SUBSURFACE DRAINAGE SHALL BE PROVIDED WHERE NECESSARY TO INTERCEPT SEEPAGE STABILIZATION - SECTION I- VEGETATIVE STABILIZATION METHOD AND MATERIALS. THAT WOULD OTHERWISE ADVERSELY AFFECT SLOPE STABILITY OR CREATE EXCESSIVELY WET SITE CONDITIONS. V. TOPSOIL APPLICATION I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS. SLOPES SHALL NOT BE CREATED SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATELY PROTECTING SUCH PROPERTIES AGAIN SEDIMENTATION, EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" – 8" HIGHER IN ELEVATION. 8. FILL MATERIAL SHALL BE FREE OF SNOW, ICE, FROZEN MATERIALS, TRASH, BRICK, CLAY LUMPS, HAZARDOUS MATERIAL, BROKEN CONCRETE, TREE ROOTS, SOD, ASHES, CINDERS, GLASS, PLASTER, ORGAINIC MATTER, BRUSH, LOGS, STUMPS, BUILDING DEBRIS AND ANY III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A OTHER FOREIGN MATERIAL, IT SHOULD BE FREE OF STONES OVER TWO (2) INCHES IN MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER DIAMETER WHERE COMPACTED BY HAND OR MECHANICAL TAMPERS OR OVER FIGHT (8) THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND INCHES IN DIAMETER WHERE COMPACTED BY ROLLERS OR OTHER FOLIPMENT FROZEN TILLAGE, ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MATERIAL SHALL NOT BE PLACED IN THE FILL NOR SHALL THE FILL MATERIAL BE PLACED SHALL BE CORRECTED IN ORDER TO PREVENT THE ON A FROZEN FOUNDATION FORMATION OF DEPRESSIONS OR WATER POCKETS IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETIMENTIAL TO PROPER RARADING AND SEEDED PREPARATION. STOCKPILES, BORROW AREAS AND SPOIL SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATIONS. 10. ALL DISTURBED AREAS SHALL BE STABILIZED STRUCTURALLY OR VEGETATIVELY IN COMPLIANCE WITH 42.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION. VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW: COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS 38.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL: UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: DEFINITION: PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF a. COMPOSED SUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY EITHER THE STATE OF MARTLAND OR THE STATE OF VIRCINA. PERMANENT VEGETATION PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN b. COMPOSIED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS WIST BE ADDED TO MEET THE REQUIREMENTS HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND /OR UNACCEPTABLE SOIL GRADATION PRIOR TO USE. CONDITIONS WHERE PRACTICE APPLIES: c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1.000 SQUARE FEET. I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: ii. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO LB/1.000 SQUARE FEET. AND 1/3 THE NORMAL LIME APPLICATION RATE. PRODUCE VEGETATIVE GROWTH. REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD- V A, PUB. #1, COOPERATIVE b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973. SUPPORT PLANTS OF FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. STANDARDS AND SPECIFICATIONS FOR VEHICLE WASH RACK: d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE DEFINITION: AN ON-SITE AREA WHERE TIRES AND UNDER CARRAIGE OF A VEHICLE CAN BE WASHED. II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAWING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION, AREAS HAWING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS. PURPOSE: THE "VEHICLE WASH AREA" IS PROVIDED TO MINIMIZE THE QUANTITY OF SEDIMENT DEPOSITED ON PUBLIC SPACE BY VEHICLES LEAVING THE SITE. CONDITIONS WHERE PRACTICE APPLIES: THE "VEHICLE WASH AREA" SHALL BE PROVIDED ON-SITE AND DRAINED OUNTIES INCLUE TRADICE AT LEUK THE VEHICLE HEAD THE ALL OF THE ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS: I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE 1. STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED IN THE NRCS DISTRICT OF COLUMBIA SOIL II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE WATERSHED PROTECTION DIVISION. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 11/2 " IN DIAMETER.

II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OTHER POSIONOUS PLANTS OR OTHERS AS SPECIFIED.

III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-B TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PROR TO THE PLACEMENT OF TOPSOIL LIME SHALL BE DISTIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

EROSION AND SEDIMENT CONTROL NOTES



2. FENCE POST (FOR FABRICATION UNITS): THE LENGTH SHALL BE A MINIMUM OF 36 INCHES LONG WOOD

PREFABRICATED UNITS: ENVIRONFENCE OR APPROVED EQUIVALENT MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDING THE UNIT IS INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.

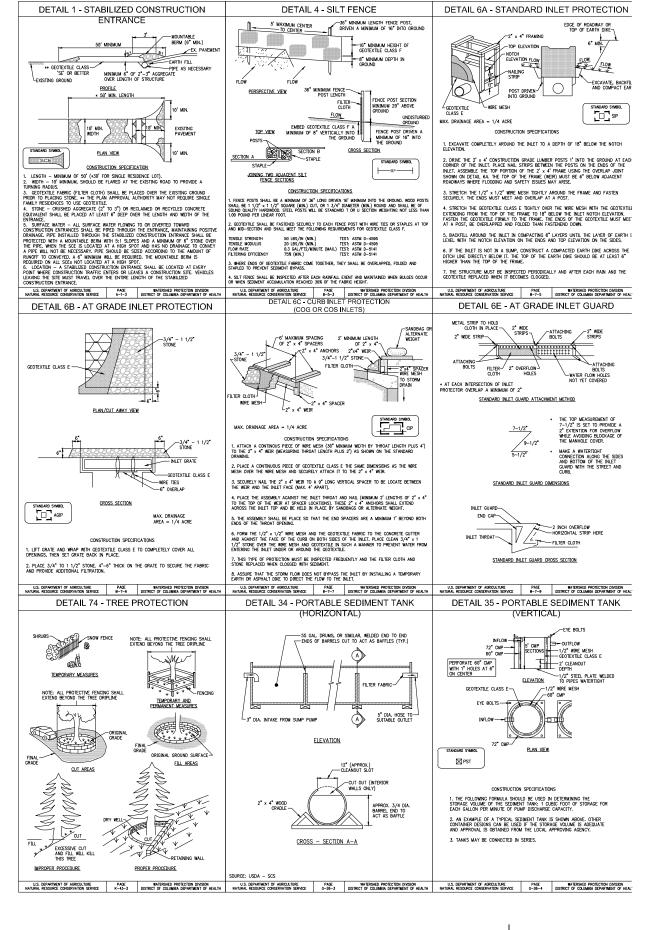
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FABRIC PROPERTIES	MINIMUM ACCEPTABLE VALUE	TEST METHOD
GRAB TENSILE STRENGTH (LBS)	90	ASTM D1682
ELONGATION AT FAILURE (%)	50	ASTM D1682
MULLEN BURST STRENGTH (PSI)	190	ASTM D3788
PUNCTURE STRENGTH (LBS)	50	ASTM D751
SLURRY FLOW RATE (GAL/MIN/SF) 0.3	MODIFIED VIRGINIA DOT VTM-51
EQUIVALENT OPENING SIZE	40-80	US ST SIEVE CW-02215
ULTRAVIOLET RADIATION STABILITY	r(%) 90	ASTM G-26

TENCE POSI (FOR FABRICATION UNITS): THE LENGTH SHALL BE ANTIMUM OF 30 INCHES LONG, WOUD POSTS WILL BE OF SOUND QUALITY HARDWOOD WITH A MINIMUM ACRSS SECTIONAL AREA OF 30 SQUARE INCHES, STEEL POST WILL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN 1.00 POUND PER LINEAR FOOT

WRE FENCE (FOR FABRICATED UNITS): WIRE FENCING SHALL BE A MINIMUM OF 14 GAUGE 6" MESH OPENING, OR AS APPROVED. 3.





EROSION AND SEDIMENT CONTROL DETAILS

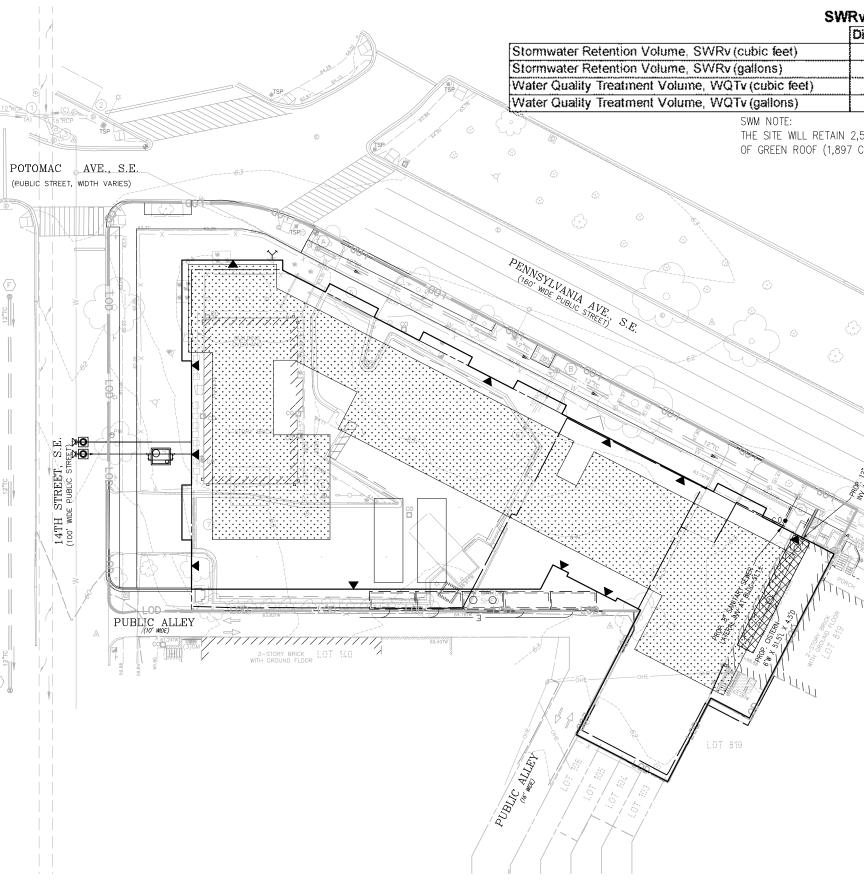


STORMWATER MANAGEMENT NARRATIVE:

CONCEPTUAL STORMWATER MANAGEMENT PROVIDED FOR PUD REVIEW ONLY. DURING THE FURTHER DEVELOPMENT OF THE PUD AND FORTHCOMING DEVELOPMENT OF THE FINAL SITE PLAN, STORMWATER MANAGEMENT DESIGN WILL BE ADVANCED TO REFLECT ADDITIONAL DETAILS. THE DESIGN CRITERIA FOR THE PROJECT INCLUDE:

- STORMWATER MANAGEMENT DESIGN WILL MEET OR EXCEED THE CURRENT STANDARDS OF THE DISTRICT OF COLUMBIA IN PLACE AT THE TIME OF PUD APPROVAL
- THE STORMWATER RUNOFF WILL BE TREATED USING LOW IMPACT DEVELOPMENT BMP MEASURES
- THE STORMWATER RUNOFF WILL BE TREATED USING A COMBINATION OF ON-SITE AND OFF-SITE STORMWATER MANAGEMENT PRACTICES SUCH AS GREEN ROOF, BIORETENTION AREAS, AND CISTERNS FOR WATER REUSE.

NOTE: ONLY APPROXIMATE AREAS WHERE STORMWATER MANAGEMENT PRACTICES WILL BE LOCATED HAVE BEEN SHOWN ON THE PLAN, THE ACTUAL DESIGN OF THE FACILITIES WILL BE PROVIDED DURING FINAL SITE PLAN.



1401PENNSYLVANIA CASRiegler ASSOCIATES

STORMWATER MANAGEMENT PLAN

SWRv and WQTv Summary

Disturbed Public Right of Way	Site Development
0	2,589
0	19,367
NA	NA
NA	NA

THE SITE WILL RETAIN 2,589 CF (100%) OF THE STORMWATER RETENTION VOLUME THROUGH THE USE OF GREEN ROOF (1,897 CF, 73% OF SWRV) AND AN UNDERGROUND CISTERN (692 CF 27% OF SWRV).

PROPOSED GREEN ROOF
PROPOSED CISTERN VOLUME = 1,525 CF

SWM CISTERN TO BE LOCATED WITHIN THE SUBSURFACE PARKING LEVEL. MAINTENANCE ACCESS TO CISTERN WILL BE FROM THE SUBSURFACE PARKING LEVEL. LADDER WILL BE PROPOSED TO ACCESS MANHOLES ON TOP OF THE CISTERN.

