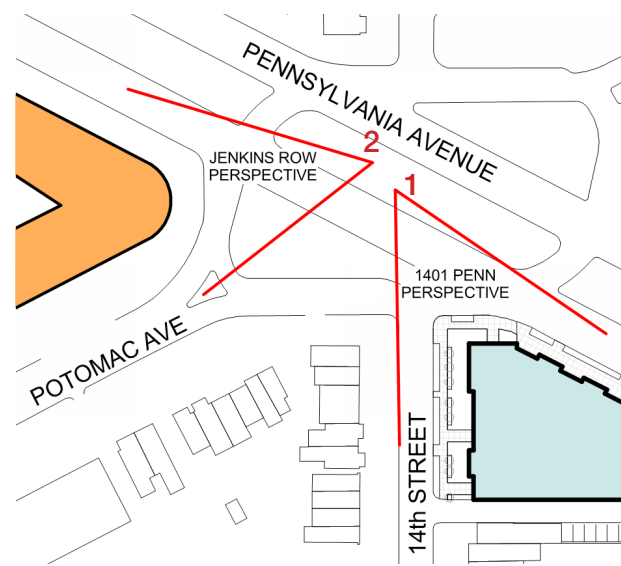




VIEW 1: 1401 PENNSYLVANIA AVE



VIEW 2: JENKINS ROW



KEY PLAN

70.00'	TOP OF VISIBLE PARAPET	65.00'
60.00'	TOP OF BAY PROJECTION	58.39''
18.00'	TOP OF RETAIL	15.00''
0.00'	GROUND FLOOR	0.00''



LEED 2009 for New Construction and Major Renovation¹ Project Scorecard and Associated Tasks

1. LEED v3 rating system will remain available until October 2016

Project Name: 1401 Pennsylvania Ave SW
Project Address: 1401 Pennsylvania Ave SW, Washington DC, 20003

Yes	?	No	SUSTAINABLE SITES		26 Points
22	2	2			

Y				Required
	Prereq 1	Construction Activity Pollution Prevention		1
1	Credit 1	Site Selection		5
5	Credit 2	Development Density and Community Connectivity		1
	Credit 3	Brownfield Redevelopment	1	6
6	Credit 4.1	Alternative Transportation - Public Transportation Access		1
1	Credit 4.2	Alternative Transportation - Bicycle Storage and Changing Rooms		3
3	Credit 4.3	Alternative Transportation - Low-Emitting and Fuel-Efficient Vehicles		2
2	Credit 4.4	Alternative Transportation - Parking Capacity		1
	Credit 5.1	Site Development - Protect or Restore Habitat	1	1
1	Credit 5.2	Site Development - Maximize Open Space		1
1	Credit 6.1	Stormwater Design - Quantity Control		1
	Credit 6.2	Stormwater Design - Quality Control	1	1
1	Credit 7.1	Heat Island Effect - Nonroof		1
1	Credit 7.2	Heat Island Effect - Roof		1
	Credit 8	Light Pollution Reduction	1	1

Yes	?	No	WATER EFFICIENCY		10 Points
6	2	2			

Y				Required
	Prereq 1	Water Use Reduction		2 to 4
2	Credit 1	Water Efficient Landscaping		2
		Reduce by 50%	2	4
		No Potable Water Use or Irrigation		2
	Credit 2	Innovative Wastewater Technologies	2	2 to 4
4	Credit 3	Water Use Reduction		2
		Reduce by 30%		3
		Reduce by 35%		4
		Reduce by 40%	4	

Yes	?	No	ENERGY & ATMOSPHERE		35 Points
14	2	19			

Y				Required
	Prereq 1	Fundamental Commissioning of Building Energy Systems		Required
	Prereq 2	Minimum Energy Performance		Required
	Prereq 3	Fundamental Refrigerant Management		Required
5	Credit 1	Optimize Energy Performance	12	1 to 19
		Improve by 12% for New Buildings or 8% for Existing Building Renovations		1
		Improve by 14% for New Buildings or 10% for Existing Building Renovations		2
		Improve by 16% for New Buildings or 12% for Existing Building Renovations		3
		Improve by 18% for New Buildings or 14% for Existing Building Renovations		4
		Improve by 20% for New Buildings or 16% for Existing Building Renovations	5	5
		Improve by 22% for New Buildings or 18% for Existing Building Renovations		6
		Improve by 24% for New Buildings or 20% for Existing Building Renovations		7
		Improve by 26% for New Buildings or 22% for Existing Building Renovations		8
		Improve by 28% for New Buildings or 24% for Existing Building Renovations		9
		Improve by 30% for New Buildings or 26% for Existing Building Renovations		10
		Improve by 32% for New Buildings or 28% for Existing Building Renovations		11
		Improve by 34% for New Buildings or 30% for Existing Building Renovations		12
		Improve by 36% for New Buildings or 32% for Existing Building Renovations		13
		Improve by 38% for New Buildings or 34% for Existing Building Renovations		14
	Credit 2	On-Site Renewable Energy	7	1 to 7
		1% Renewable Energy		1
		3% Renewable Energy		2
2	Credit 3	Enhanced Commissioning		2
2	Credit 4	Enhanced Refrigerant Management		2
3	Credit 5	Measurement and Verification		3
2	Credit 6	Green Power		2

Yes	?	No	MATERIALS & RESOURCES		14 Points
6	0	8			

Y				Required
	Prereq 1	Storage and Collection of Recyclables		Required
	Credit 1.1	Building Reuse - Maintain Existing Walls, Floors and Roof	3	1 to 3
	Credit 1.2	Building Reuse - Maintain Interior Nonstructural Elements	1	1
2	Credit 2	Construction Waste Management		1 to 2
		50% Recycled or Salvaged		1
		75% Recycled or Salvaged	2	2
	Credit 3	Materials Reuse	2	1 to 2
		Reuse 5%		1
		Reuse 10%		2
2	Credit 4	Recycled Content		1 to 2
		10% of Content		1
		20% of Content	2	2
2	Credit 5	Regional Materials		1 to 2
		10% of Materials		1
		20% of Materials	2	2
	Credit 6	Rapidly Renewable Materials		1
	Credit 7	Certified Wood		1

Yes	?	No	INDOOR ENVIRONMENTAL QUALITY		15 Points
12	0	3			

Y				Required
	Prereq 1	Minimum Indoor Air Quality Performance		Required
	Prereq 2	Environmental Tobacco Smoke (ETS) Control		Required
	Credit 1	Outdoor Air Delivery Monitoring	1	1
	Credit 2	Increased Ventilation	1	1
1	Credit 3.1	Construction Indoor Air Quality Management Plan - During Construction		1
1	Credit 3.2	Construction Indoor Air Quality Management Plan - Before Occupancy		1
1	Credit 4.1	Low-Emitting Materials - Adhesives and Sealants		1
1	Credit 4.2	Low-Emitting Materials - Paints and Coatings		1
1	Credit 4.3	Low-Emitting Materials - Flooring Systems		1
1	Credit 4.4	Low-Emitting Materials - Composite Wood and Agrifiber Products		1
1	Credit 5	Indoor Chemical and Pollutant Source Control		1
1	Credit 6.1	Controllability of Systems - Lighting		1
1	Credit 6.2	Controllability of Systems - Thermal Comfort		1
1	Credit 7.1	Thermal Comfort - Design		1
	Credit 7.2	Thermal Comfort - Verification	1	1
1	Credit 8.1	Daylight and Views - Daylight		1
1	Credit 8.2	Daylight and Views - Views		1

Yes	?	No	INNOVATION IN DESIGN		6 Points
4	0	2			

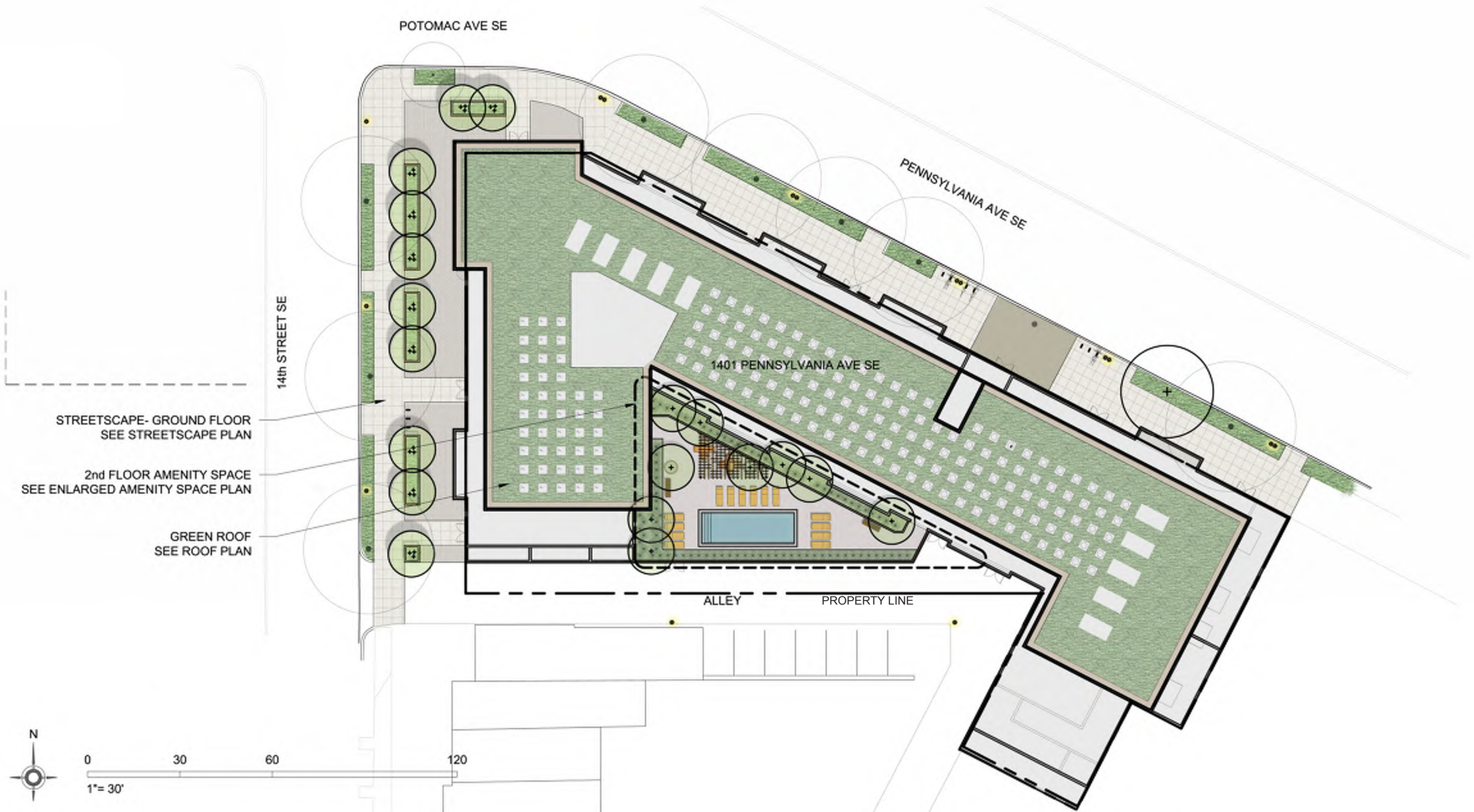
Y				Required
3	Credit 1	Innovation in Design	2	1 to 5
		Innovation or Exemplary Performance- SS c7.1 100% Covered parking spaces	1	1
		Innovation or Exemplary Performance- IEQ c8.1 Daylight and Views- Daylighting 95%	1	1
		Innovation or Exemplary Performance- EA c8: Green Power -100% building electrical usage	1	1
		Innovative Design:		1
		Innovative Design:		1
1	Credit 2	LEED® Accredited Professional		1

Yes	?	No	REGIONAL PRIORITY		4 Points
1	0	3			

Y				Required
1	Credit 1	Regional Priority	3	1 to 4
		Regionally Defined Credit Achieved- EA c1: Optimize Energy @ 40%		1
		Regionally Defined Credit Achieved- EA c2 (1%): On-Site Renewable Energy		1
		Regionally Defined Credit Achieved- MR c1: Building Reuse		1
		Regionally Defined Credit Achieved- SS c5.1: Protect or Restore Green Habitat		1
		Regionally Defined Credit Achieved- SS c6.1: Stormwater Quantity Control	X	1
		Regionally Defined Credit Achieved- WE c2: Innovative Wastewater Technologies		1

Yes	?	No	PROJECT TOTALS (Certification Estimates)		110 Points
65	6	39			

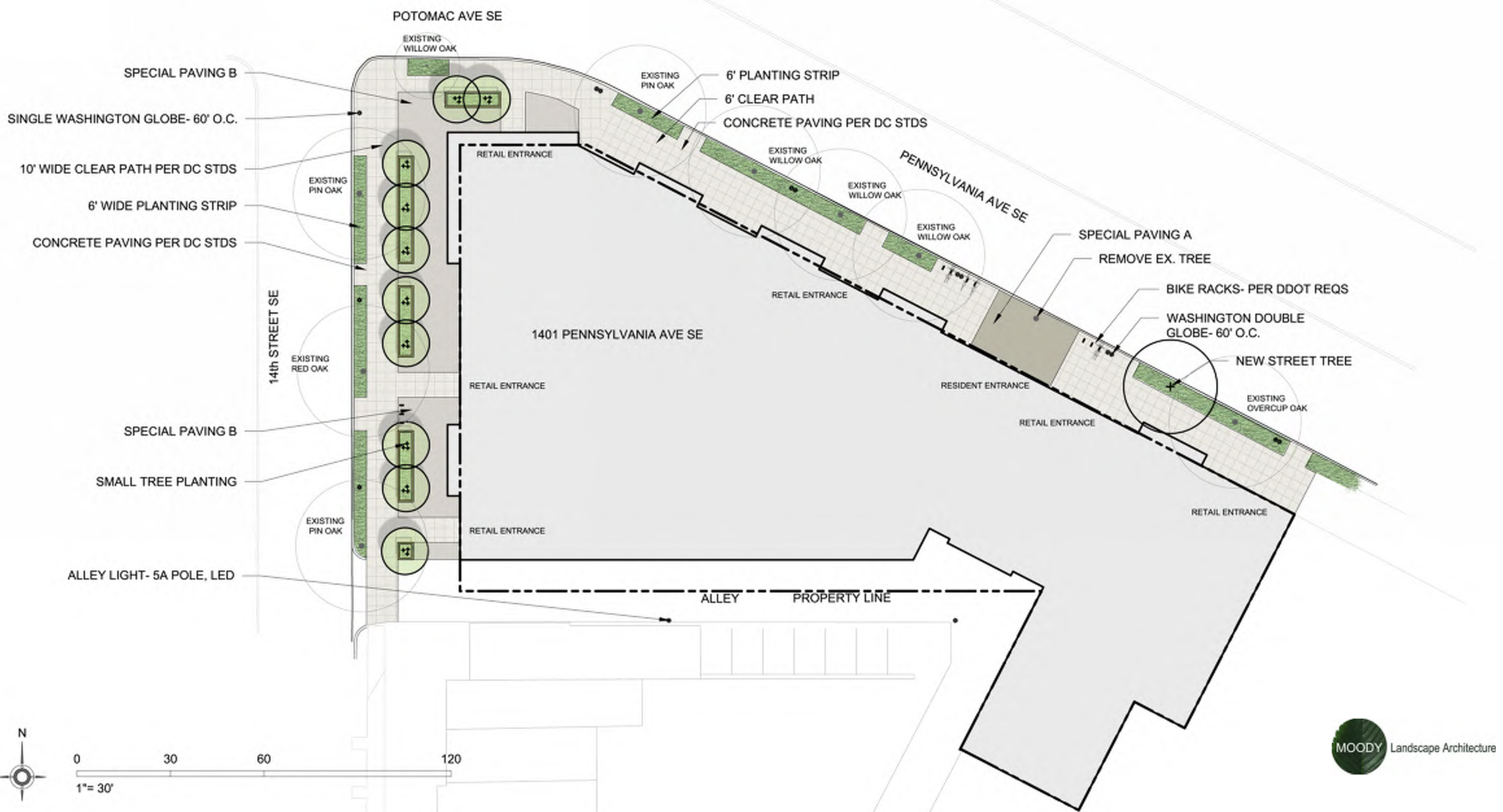
Certified: 40-49 points Silver: 50-59 points Gold: 60-79 points Platinum: 80+ points



1401 PENNSYLVANIA

LANDSCAPE

OVERALL SITE PLAN



1401 PENNSYLVANIA

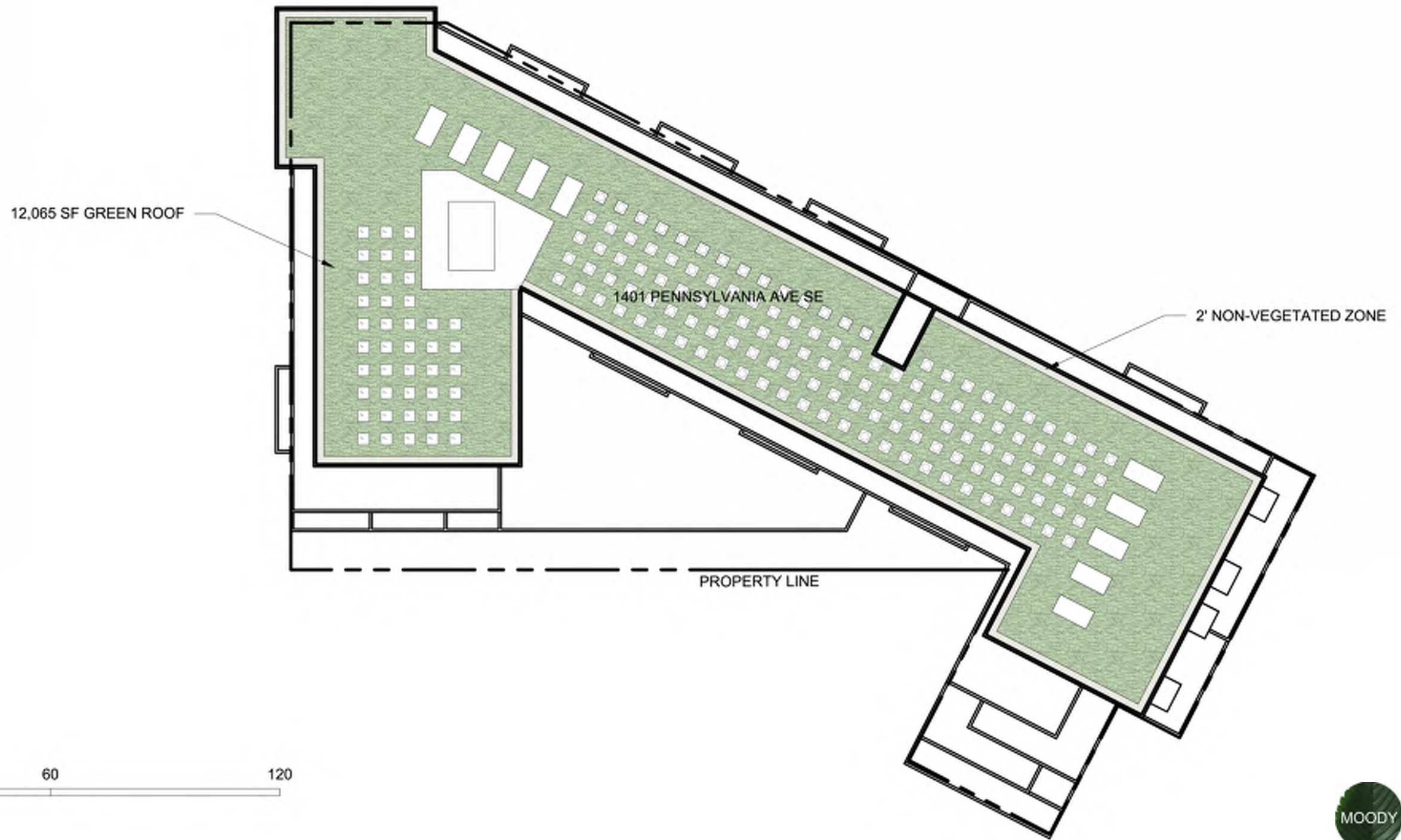


LANDSCAPE

STREETSCAPE PLAN

November 4, 2015



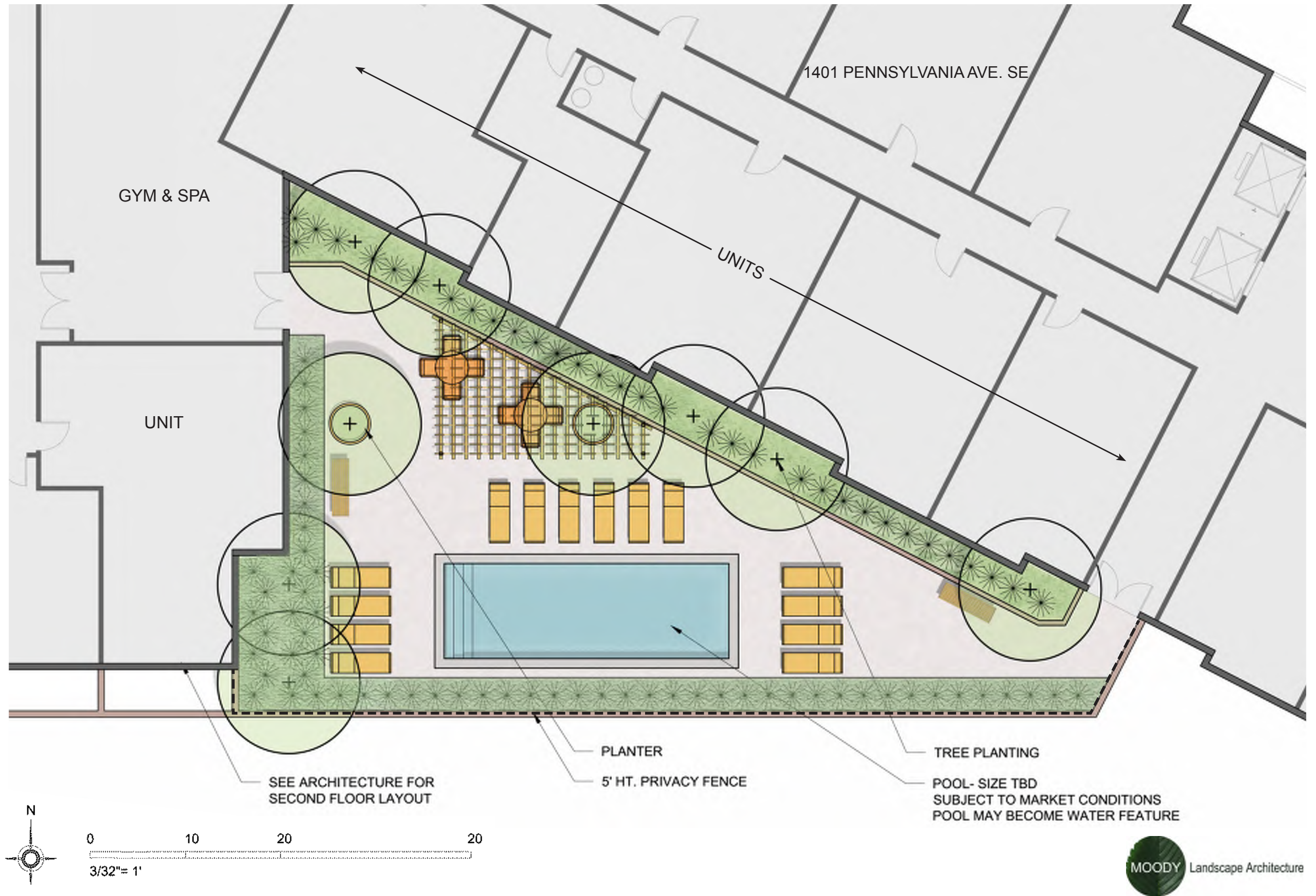


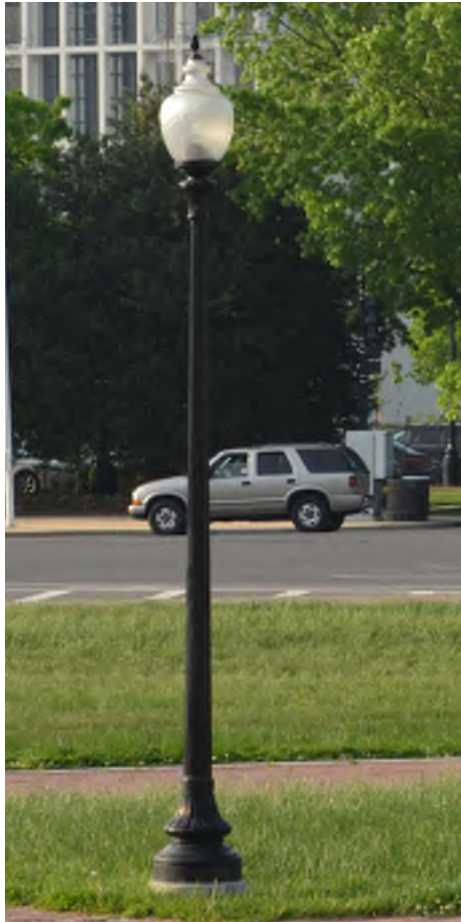
GROUND LEVEL

- 10' WIDTH EASEMENT - ENLARGEMENT TO EXISTING PUBLIC ALLEY
- CAFÉ SPACE
- TREE PLANTING

SECOND LEVEL

- SWIMMING POOL
- DECK WITH SEATING
- SHADE STRUCTURE
- PLANTERS





Washington Globe Street Light



Twin-20 Double Globe Street Light



Public Bench



Trash Receptacle



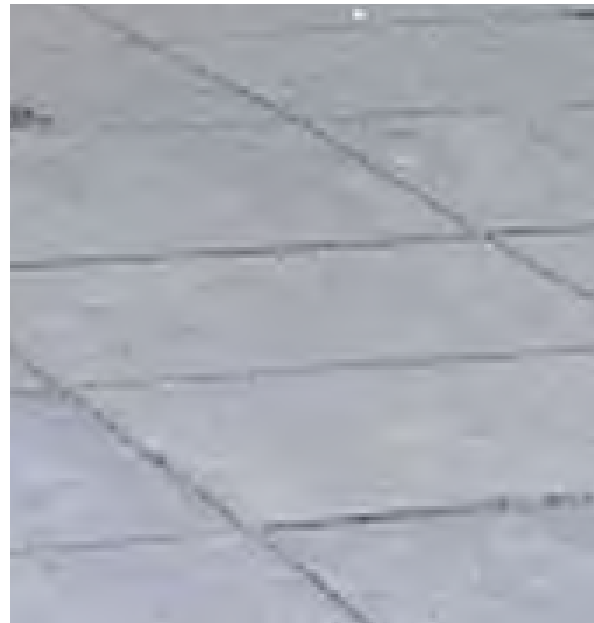
Bicycle Rack



Small Tree Planting in Raised Planter



Planting Strip



DC Standard Concrete Paving



Special Paving



Special Paving





Columnar Hornbeam
Carpinus betulus 'Frans Fontaine'



Sweetbay Magnolia
Magnolia virginiana 'Moonglow'



Green Mountain Boxwood
Buxus x 'Green Mountain'



Oakleaf Hydrangea
Hydrangea quercifolia



Liriopse
Liriopse spicata



St. Johns Wort
Hypericum perforatum



Autumn Stonecrop
Sedum 'Matrona'



Yarrow
Achillea millefolium



Switchgrass
Panicum virgatum



Feather Reed Grass
Calamagrostis x *acutiflora*

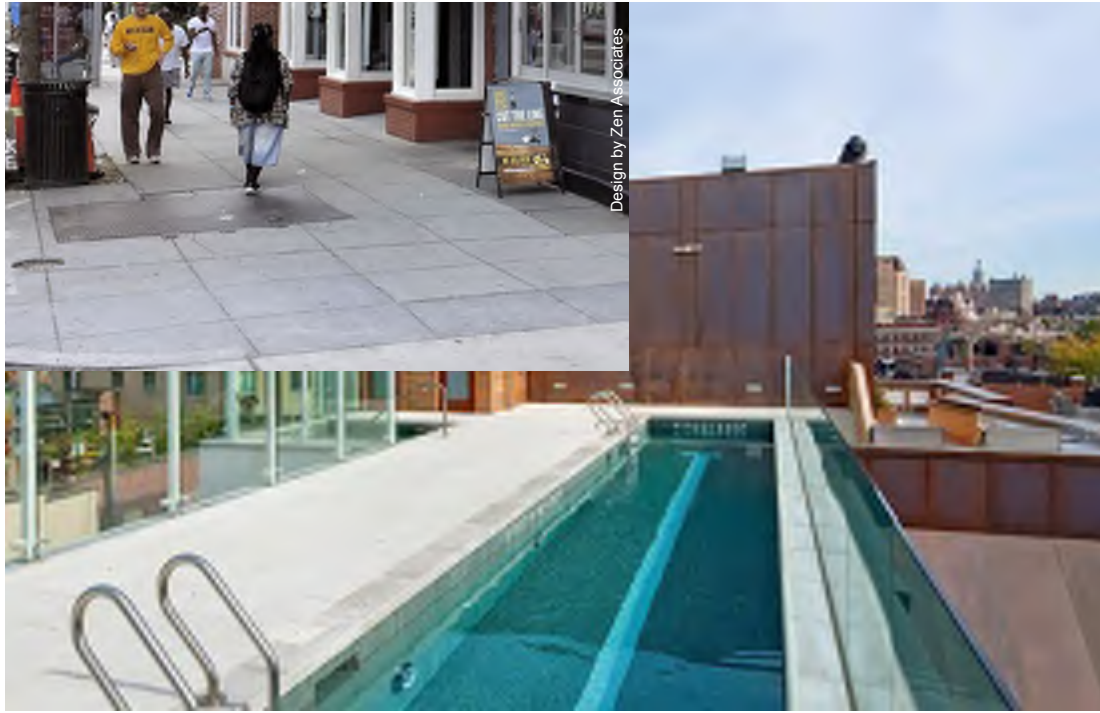


Green Roof Precedent Image



Green Roof Precedent Image





Pool (inclusion subject to market conditions)



Shade Structure



Planters



Pavers



Wood Deck



Planters



Wood Bench



LINE TABLE - LOT 142				
LINE #	SURVEYED		RECORD	
	DIRECTION	LENGTH	DIRECTION	LENGTH
L1	N 90°00'00" E	40.66'	N 90°00'00" E	40.00'
L2	S 62°27'00" E	132.02'	S 62°17'55" E	131.17'
L3	S 27°33'00" W	92.42'	S 27°42'05" W	92.64'
L4	N 90°00'00" W	114.96'	N 90°00'00" W	113.07'
L5	N 00°00'00" E	143.00'	N 00°00'00" E	143.00'
AREA	17,227 SQ.FT. OR 0.39548 AC.		17,020 SQ.FT. OR 0.39073 AC.	

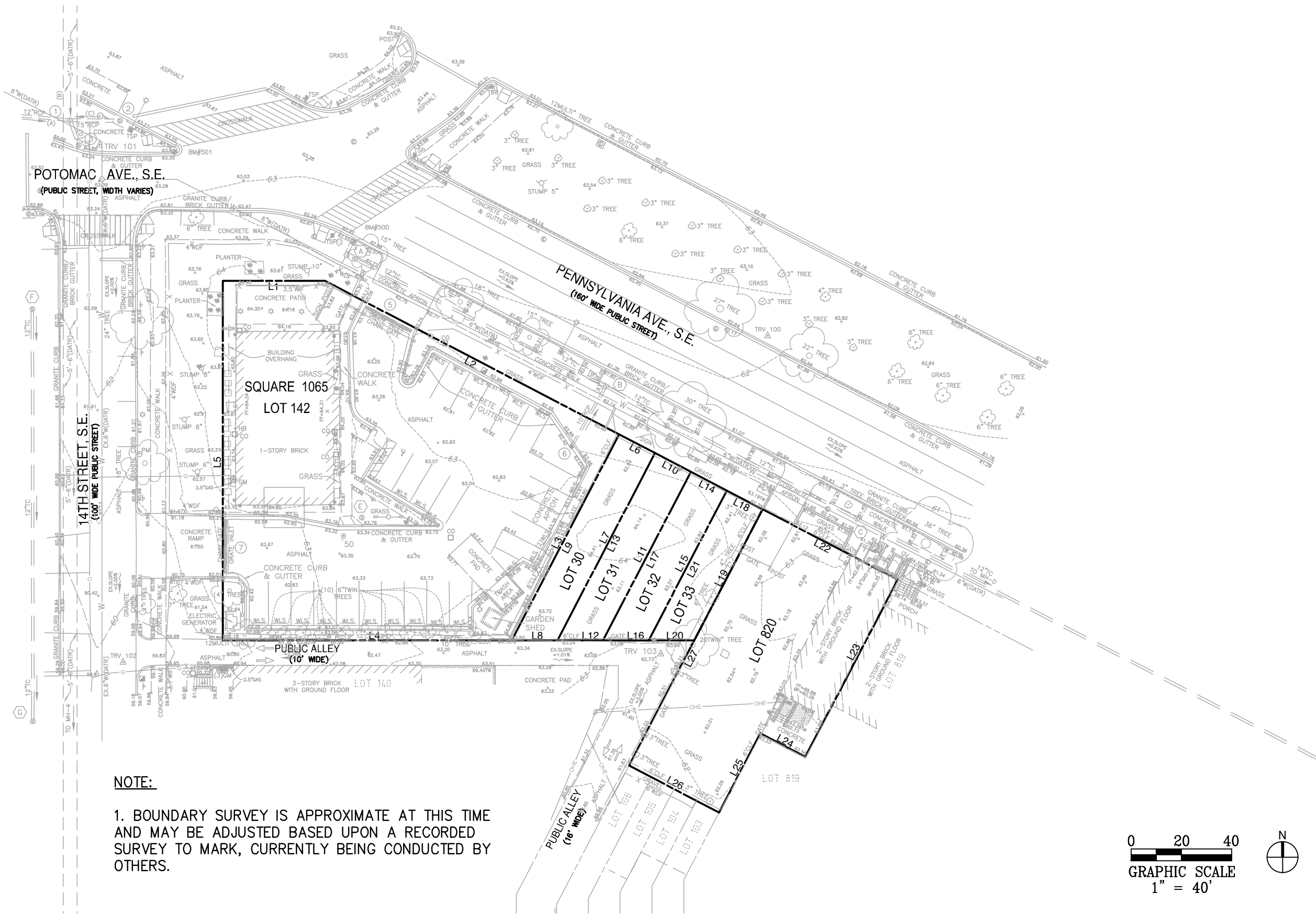
LINE TABLE - LOT 30				
LINE #	SURVEYED		RECORD	
	DIRECTION	LENGTH	DIRECTION	LENGTH
L6	S 62°27'00" E	16.10'	S 62°17'55" E	16.00'
L7	S 27°33'00" W	84.02'	S 27°42'05" W	84.24'
L8	N 90°00'00" W	18.16'	N 90°00'00" W	18.07'
L9	N 27°33'00" E	92.42'	N 27°42'05" E	92.64'
AREA	1,420 SQ.FT. OR 0.03260 AC.		1,415 SQ.FT. OR 0.03248 AC.	

LINE TABLE - LOT 31				
LINE #	SURVEYED		RECORD	
	DIRECTION	LENGTH	DIRECTION	LENGTH
L10	S 62°27'00" E	16.10'	S 62°17'55" E	16.00'
L11	S 27°33'00" W	75.61'	S 27°42'05" W	75.84'
L12	N 90°00'00" W	18.16'	N 90°00'00" W	18.07'
L13	N 27°33'00" E	84.02'	N 27°42'05" E	84.24'
AREA	1,285 SQ.FT. OR 0.02950 AC.		1,281 SQ.FT. OR 0.02941 AC.	

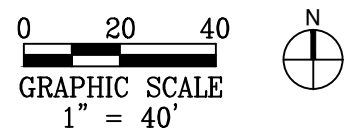
LINE TABLE - LOT 32				
LINE #	SURVEYED		RECORD	
	DIRECTION	LENGTH	DIRECTION	LENGTH
L14	S 62°27'00" E	16.10'	S 62°17'55" E	16.00'
L15	S 27°33'00" W	67.21'	S 27°42'05" W	67.44'
L16	N 90°00'00" W	18.16'	N 90°00'00" W	18.07'
L17	N 27°33'00" E	75.61'	N 27°42'05" E	75.84'
AREA	1,150 SQ.FT. OR 0.02640 AC.		1,146 SQ.FT. OR 0.02631 AC.	

LINE TABLE - LOT 33				
LINE #	SURVEYED		RECORD	
	DIRECTION	LENGTH	DIRECTION	LENGTH
L18	S 62°27'00" E	16.10'	S 62°17'55" E	16.00'
L19	S 27°33'00" W	58.81'	S 27°42'05" W	59.04'
L20	N 90°00'00" W	18.16'	N 90°00'00" W	18.07'
L21	N 27°33'00" E	67.21'	N 27°42'05" E	67.44'
AREA	1,015 SQ.FT. OR 0.02330 AC.		1,012 SQ.FT. OR 0.02323 AC.	

LINE TABLE - LOT 820				
LINE #	SURVEYED		RECORD	
	DIRECTION	LENGTH	DIRECTION	LENGTH
L22	S 62°27'00" E	60.60'	S 62°17'55" E	60.00'
L23	S 27°33'00" W	79.54'	S 27°42'05" W	79.78'
L24	N 62°27'00" W	20.20'	N 62°17'55" W	20.00'
L25	S 27°33'00" W	35.46'	S 27°42'05" W	35.22'
L26	N 62°27'00" W	40.40'	N 62°17'55" W	40.00'
L27	N 27°33'00" E	115.00'	N 27°42'05" E	115.00'
AREA	6,253 SQ.FT. OR 0.14354 AC.		6,196 SQ.FT. OR 0.14224 AC.	



NOTE:
 1. BOUNDARY SURVEY IS APPROXIMATE AT THIS TIME AND MAY BE ADJUSTED BASED UPON A RECORDED SURVEY TO MARK, CURRENTLY BEING CONDUCTED BY OTHERS.



SEDIMENT AND EROSION CONTROL NARRATIVE:

INSTALL SEDIMENT AND EROSION CONTROL MEASURES INCLUDING SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND STABILIZED CONSTRUCTION ENTRANCE AT SITE. FOLLOWING DISCONNECTION OF UTILITIES, CONCRETE ENTRANCE AND EXISTING CURB RAMPS. DURING DEMOLITION, DEBRIS WILL BE REMOVED FROM SITE BY TRUCK. CONTRACT DC DEPARTMENT OF THE ENVIRONMENT, WATERSHED PROTECTION DIVISION AT 202-535-2250 TO SCHEDULE PRE-CONSTRUCTION MEETING.

AREA OF DISTURBANCE:

TOTAL SITE AREA: 28,098 SF (0.645 ACRES)
 AREA TO BE DISTURBED: 40,618 SF (0.933 ACRES)
 VOLUME OF EARTH TO BE REMOVED: ±12,488 CY (ASSUMING 12' OF EXCAVATION OVER FOOTPRINT)

SEDIMENT AND EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF SHEETING AND SHORING AND SUPPORT OF EXISTING UTILITIES AND ADJACENT STRUCTURES. SHORING, BRACING, AND UNDERPINNING DESIGNED BY THE CONTRACTOR'S STRUCTURAL ENGINEER LICENSED IN THE DISTRICT OF COLUMBIA SHALL BE PROVIDED AS NECESSARY TO ENSURE THEIR SUPPORT.
2. PROVIDE SILT FENCE AT THE PERIMETER OF DISTURBED AREA OR EXCAVATION TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR OTHERWISE APPROVED BY THE INSPECTOR.
3. PROVIDE CONSTRUCTION FENCE AT THE PERIMETER OF DISTURBED AREA OR EXCAVATION TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR OTHERWISE APPROVED BY THE INSPECTOR.
4. CONTRACTOR TO MAINTAIN ON-SITE STAMPED AND SIGNED, SEDIMENT AND EROSION CONTROL DRAWINGS APPROVED BY THE DEPARTMENT OF THE ENVIRONMENT, WATERSHED PROTECTION DIVISION.
5. THE APPLICATION MUST NOTIFY THE DEPARTMENT OF THE ENVIRONMENT BY PHONE (202-535-2250) AT LEAST 24 HOURS PRIOR TO START OF GRADING ACTIVITY AND WITHIN TWO (2) WEEKS AFTER COMPLETION OF PROJECT TO REQUEST INSPECTION. IF THERE IS NEED TO MAKE CHANGES OR MODIFICATIONS IN THE APPROVED DESIGN, DEPARTMENT OF THE ENVIRONMENT MUST BE NOTIFIED IMMEDIATELY.

CONSTRUCTION AND STABILIZATION SEQUENCE:

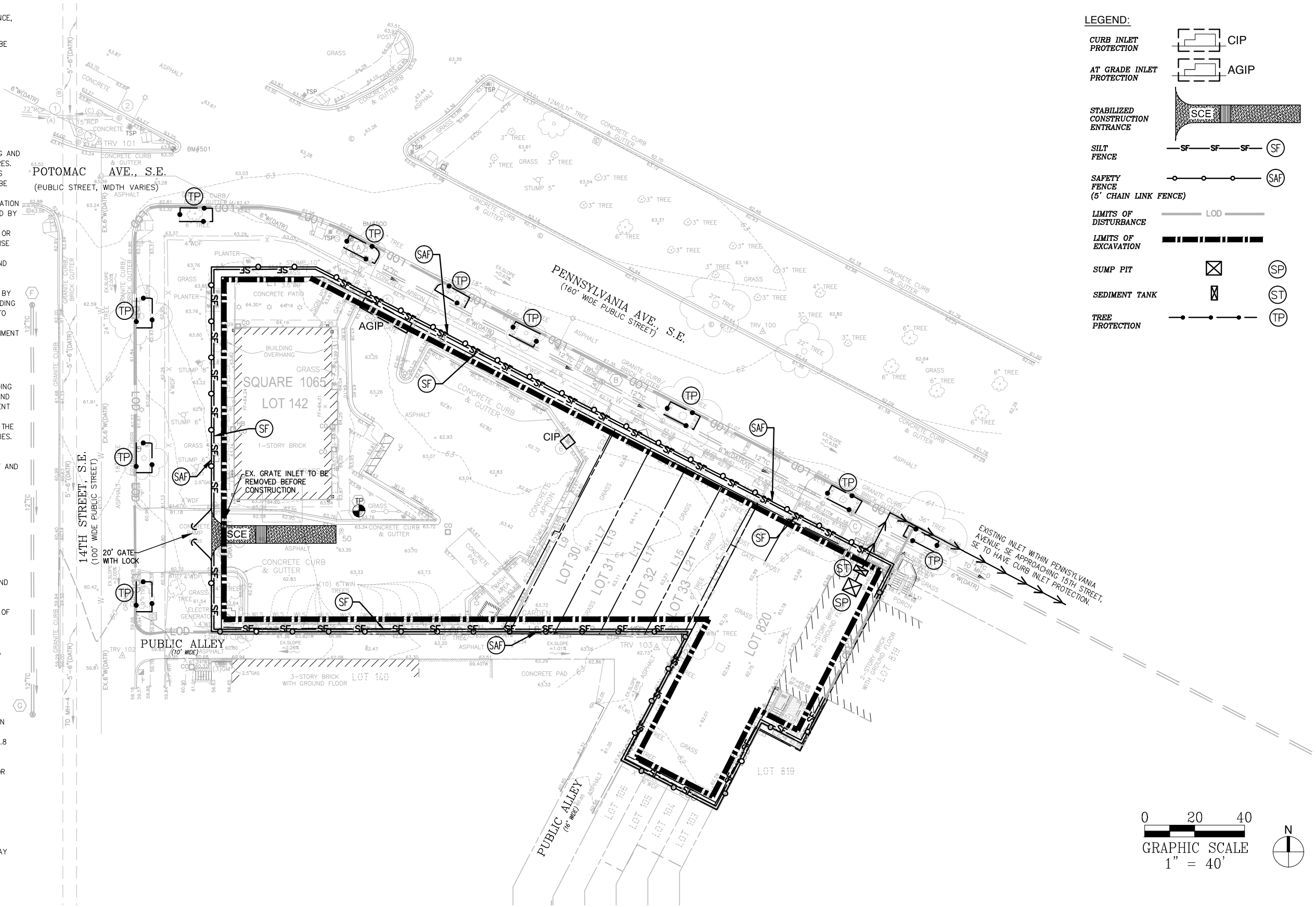
1. CONTACT DC WATERSHED PROTECTION DIVISION AT 202-535-1364 TO SCHEDULE THE PRE-CONSTRUCTION MEETING PRIOR TO MOBILIZATION.
2. INSTALL SEDIMENT AND EROSION CONTROL MEASURES AS NEEDED INCLUDING STABILIZED CONSTRUCTION ENTRANCE, WASH RACK, INLET PROTECTION, AND SILT FENCE AS INDICATED ON THIS SHEET. SEE SHEET C5.02 FOR SEDIMENT AND EROSION CONTROL DETAILS.
3. SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO COMMENCING ANY OTHER LAND DISTURBING ACTIVITIES. DISCONNECT UTILITIES AND RAZE BUILDING TO SURFACE.
4. AT THE COMPLETION OF THIS PHASE OF CONSTRUCTION, FOLLOWING SITE STABILIZATION AND UPON INSPECTOR'S APPROVAL, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES CAN BE REMOVED.

CONSTRUCTION DATES:




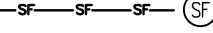
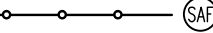





- THE PROPOSED WORK DUE TO COMMENCE IN THE SPRING OF 2017 AND IS ANTICIPATED TO TAKE APPROXIMATELY 12 MONTHS.
- EXACT BEGINNING AND END OF CONSTRUCTION IS TO BE ESTABLISHED BY THE OWNER.

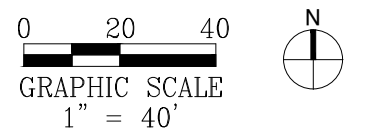
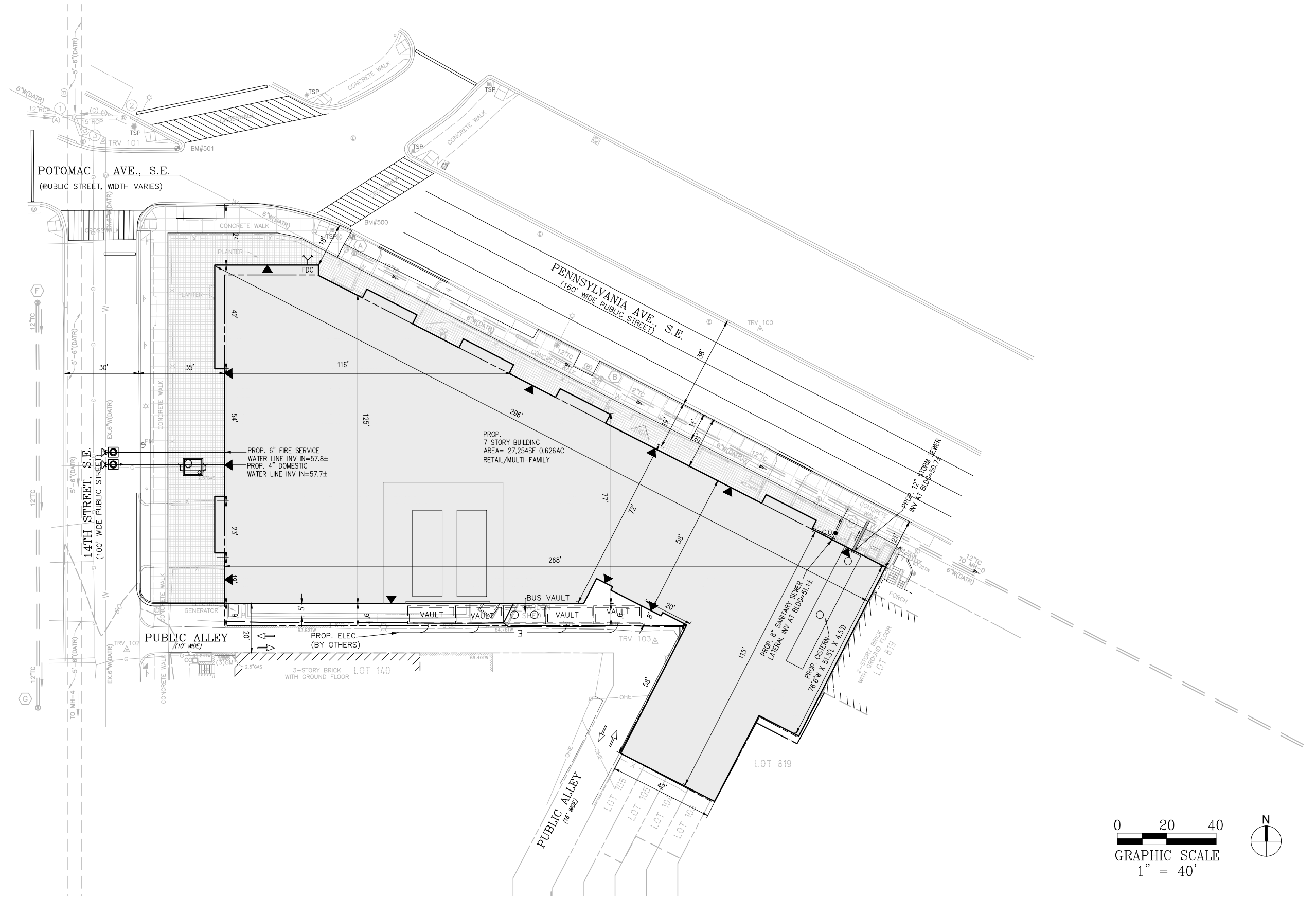
DUST CONTROL NOTES:

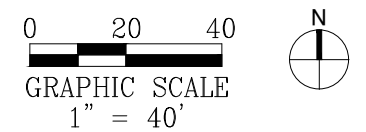
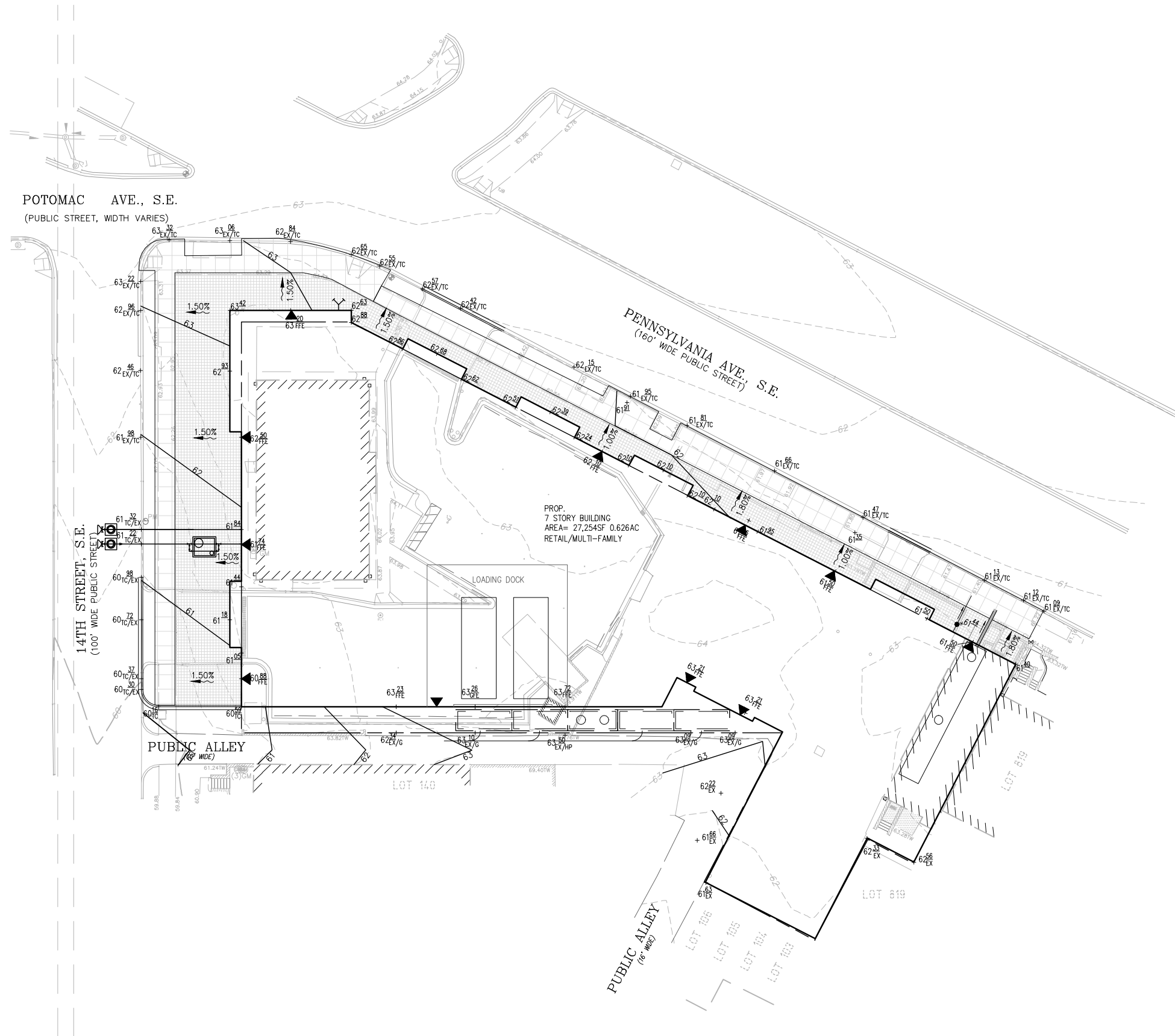
1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE AS TO MINIMIZE THE CREATION AND DISPERSION OF DUST. DUST CONTROL SHALL BE USED THROUGHOUT THE WORK AT THE SITE.
2. THE CONTRACTOR MUST PROVIDE CLEAN WATER, FREE FROM SALT, OIL AND OTHER DELETERIOUS MATERIAL TO BE USED FOR ON-SITE DUST CONTROL.
3. THE CONTRACTOR SHALL SUPPLY WATER SPRAYING EQUIPMENT CAPABLE OF ACCESSING ALL WORK AREAS.
4. THE CONTRACTOR SHALL IMPLEMENT STRICT DUST CONTROL MEASURES DURING ACTIVE CONSTRUCTION PERIODS ON SITE. THESE MEASURES WILL GENERALLY CONSIST OF WATER APPLICATIONS THAT SHALL BE APPLIED A MINIMUM OF ONCE PER DAY DURING DRY WEATHER OR MORE OFTEN AS REQUIRED TO PREVENT DUST EMISSIONS.
5. FOR WATER APPLICATION TO UNDISTURBED SOIL SURFACES, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF TANK, SPRAY BAR, PUMP WITH DISCHARGE PRESSURE GAUGE;
 - B. ARRANGE SPRAY BAR HEIGHT, NOZZLE SPACING, AND SPRAY PATTERN TO PROVIDE COMPLETE COVERAGE OF GROUND WITH WATER;
 - C. DISPERSE WATER THROUGH NOZZLES ON SPRAY BAR AT 20 PSI (137.8 K PA) MINIMUM. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING.
6. FOR WATER APPLICATION TO SOIL SURFACES DURING DEMOLITIONS AND/OR EXCAVATION, THE CONTRACTOR SHALL:
 - A. APPLY WATER WITH EQUIPMENT CONSISTING OF A TANK, PUMP WITH DISCHARGE GAUGES, HOSES, AND MIST NOZZLES;
 - B. LOCATE TANK AND SPRAYING EQUIPMENT SO THAT THE ENTIRE DISTURBED AREA CAN BE MISTED WITHOUT INTERFERING WITH DEMOLITION AND/OR EXCAVATION EQUIPMENT OR OPERATIONS. KEEP AREAS DAMP WITHOUT CREATING NUISANCE CONDITIONS SUCH AS PONDING;
 - C. APPLY WATER SPRAY IN A MANNER TO PREVENT MOVEMENT OF SPRAY BEYOND SITE BOUNDARIES.

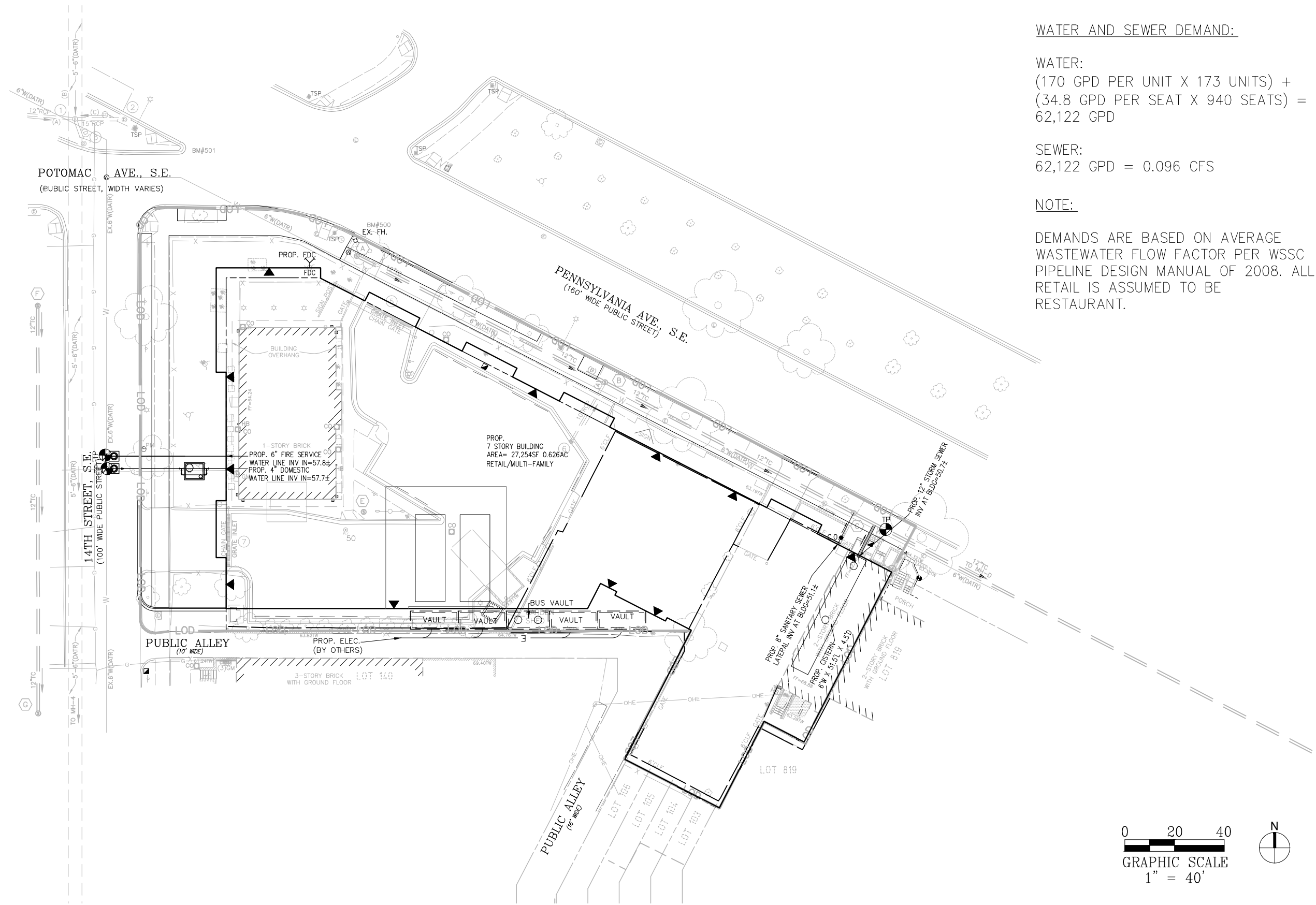


LEGEND:

- CURB INLET PROTECTION  CIP
- AT GRADE INLET PROTECTION  AGIP
- STABILIZED CONSTRUCTION ENTRANCE  SCE
- SILT FENCE  SF
- SAFETY FENCE (5' CHAIN LINK FENCE)  SAF
- LIMITS OF DISTURBANCE  LOD
- LIMITS OF EXCAVATION  LE
- SUMP PIT  SP
- SEDIMENT TANK  ST
- TREE PROTECTION  TP





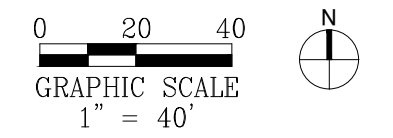


WATER AND SEWER DEMAND:

WATER:
 (170 GPD PER UNIT X 173 UNITS) +
 (34.8 GPD PER SEAT X 940 SEATS) =
 62,122 GPD

SEWER:
 62,122 GPD = 0.096 CFS

NOTE:
 DEMANDS ARE BASED ON AVERAGE
 WASTEWATER FLOW FACTOR PER WSSC
 PIPELINE DESIGN MANUAL OF 2008. ALL
 RETAIL IS ASSUMED TO BE
 RESTAURANT.





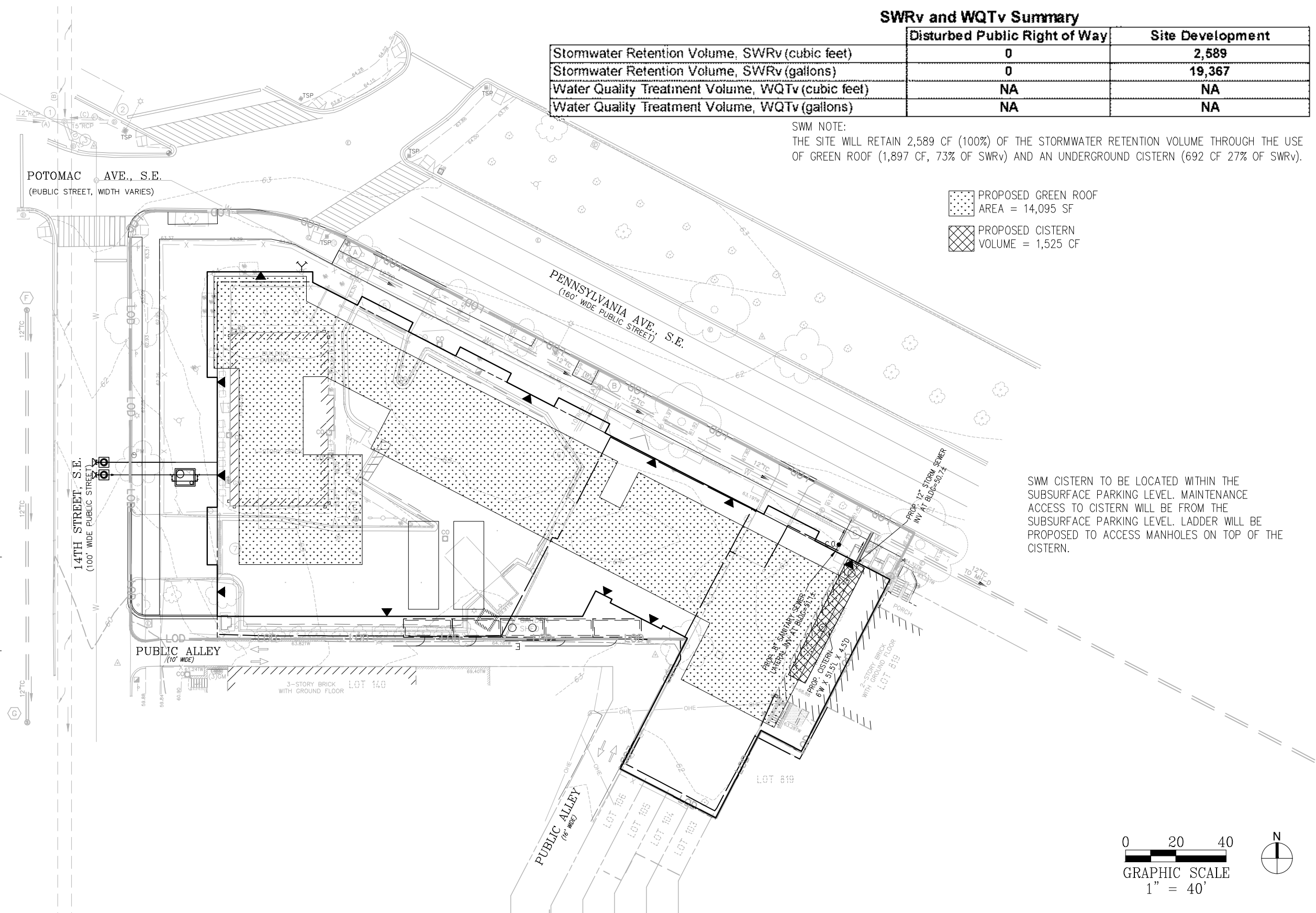
<p>DETAIL 1 - STABILIZED CONSTRUCTION ENTRANCE</p> <p>CONSTRUCTION SPECIFICATION</p> <ol style="list-style-type: none"> LENGTH - MINIMUM OF 50' (30' FOR SINGLE RESIDENCE LOT). WIDTH - 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE. STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6" STONE OVER THE PIPE. WHEN THE SIZE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO CONVEY. A 6" MINIMUM WILL BE REQUIRED. THE MOUNTABLE BERM IS REQUIRED ON ALL SITES NOT LOCATED AT A HIGH SPOT. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE. <p>U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, PAGE 4-1-3, WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH</p>	<p>DETAIL 4 - SILT FENCE</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> FENCE POSTS SHALL BE A MINIMUM OF 36" LONG DRIVEN 16" MINIMUM INTO THE GROUND. WOOD POSTS SHALL BE 1 1/2" x 1 1/2" SQUARE (MIN.) CUT, OR 1 3/4" DIAMETER (MIN.) ROUND AND SHALL BE OF SOUND QUALITY HARDWOOD. STEEL POSTS WILL BE STANDARD 1 OR U SECTION HEIGHTING NOT LESS THAN 100 POUND PER LINEAR FOOT. GEOTEXTILE SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F: <table border="1"> <tr> <td>TENSILE STRENGTH</td> <td>50 LBS/IN (MIN.)</td> <td>TEST: ASTM D-4595</td> </tr> <tr> <td>TENSILE MODULUS</td> <td>20 LBS/IN (MIN.)</td> <td>TEST: ASTM D-4595</td> </tr> <tr> <td>FLOW RATE</td> <td>0.3 GAL/FT/MINUTE (MAX.)</td> <td>TEST: ASTM D-5141</td> </tr> <tr> <td>FILTERING EFFICIENCY</td> <td>70% (MIN.)</td> <td>TEST: ASTM D-5141</td> </tr> </table> <ol style="list-style-type: none"> WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS. SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHES JOBS OF THE FABRIC HEIGHT. <p>U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, PAGE 8-3-3, WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH</p>	TENSILE STRENGTH	50 LBS/IN (MIN.)	TEST: ASTM D-4595	TENSILE MODULUS	20 LBS/IN (MIN.)	TEST: ASTM D-4595	FLOW RATE	0.3 GAL/FT/MINUTE (MAX.)	TEST: ASTM D-5141	FILTERING EFFICIENCY	70% (MIN.)	TEST: ASTM D-5141	<p>DETAIL 6A - STANDARD INLET PROTECTION</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18" BELOW THE NOTCH ELEVATION. DRIVE THE 2" x 4" CONSTRUCTION GRADE LUMBER POSTS 1" INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2" x 4" FRAME USING THE OVERLAP JOINT SHOWN ON DETAIL 6A. THE TOP OF THE FRAME (WEIR) MUST BE 6" BELOW ADJACENT ROADWAYS WHERE FLOODING AND SAFETY ISSUES MAY ARISE. STRETCH THE 1/2" x 1/2" WIRE MESH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. THE ENDS MUST MEET AND OVERLAP AT A POST. STRETCH THE GEOTEXTILE CLASS E TIGHTLY OVER THE WIRE MESH WITH THE GEOTEXTILE EXTENDING FROM THE TOP OF THE FRAME TO 18" BELOW THE INLET NOTCH ELEVATION. FASTEN THE GEOTEXTILE FIRMLY TO THE FRAME. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED THAN FASTENING DOWN. BACKFILL AROUND THE INLET BY COMPACTING 4" LAYERS UNTIL THE LAYER OF EARTH IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES. IF THE INLET IS NOT IN A SWAMP, CONSTRUCT A COMPACTED EARTH DIKE ACROSS THE DITCH LINE DIRECTLY BELOW IT. THE TOP OF THE EARTH DIKE SHOULD BE AT LEAST 6" HIGHER THAN THE TOP OF THE FRAME. THE STRUCTURE MUST BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND THE GEOTEXTILE REPLACED WHEN IT BECOMES CLOGGED. <p>U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, PAGE 8-7-5, WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH</p>
TENSILE STRENGTH	50 LBS/IN (MIN.)	TEST: ASTM D-4595												
TENSILE MODULUS	20 LBS/IN (MIN.)	TEST: ASTM D-4595												
FLOW RATE	0.3 GAL/FT/MINUTE (MAX.)	TEST: ASTM D-5141												
FILTERING EFFICIENCY	70% (MIN.)	TEST: ASTM D-5141												
<p>DETAIL 6B - AT GRADE INLET PROTECTION</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> LIFT GRATE AND WRAP WITH GEOTEXTILE CLASS E TO COMPLETELY COVER ALL OPENINGS. THEN SET GRATE BACK IN PLACE. PLACE 3/4" TO 1 1/2" STONE, 4"-6" THICK ON THE GRATE TO SECURE THE FABRIC AND PROVIDE ADDITIONAL FILTRATION. <p>U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, PAGE 8-7-6, WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH</p>	<p>DETAIL 6C - CURB INLET PROTECTION (COG OR COS INLETS)</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> ATTACH A CONTINUOUS PIECE OF WIRE MESH (30" MINIMUM WIDTH BY THROAT LENGTH PLUS 4") TO THE TOP OF THE WEIR (MEASURING THROAT LENGTH PLUS 2") AS SHOWN ON THE STANDARD DRAWING. PLACE A CONTINUOUS PIECE OF GEOTEXTILE CLASS E THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH IT TO THE 2" x 4" WEIR. SECURELY NAIL THE 2" x 4" WEIR TO A 9" LONG VERTICAL SPACER TO BE LOCATE BETWEEN THE WEIR AND THE INLET FACE (MAX. 4" APART). PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL (MINIMUM 2" LENGTHS OF 2" x 4" TO THE TOP OF THE WEIR AT SPACER LOCATIONS). THESE 2" x 4" ANCHORS SHALL EXTEND ACROSS THE INLET TOP AND BE HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHT. THE ASSEMBLY SHALL BE PLACED SO THAT THE END SPACERS ARE A MINIMUM 1" BEYOND BOTH ENDS OF THE THROAT OPENING. FORM THE 1/2" x 1/2" WIRE MESH AND THE GEOTEXTILE FABRIC TO THE CONCRETE CUTTER AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 3/4" x 1 1/2" STONE OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE. THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED WHEN CLOGGED WITH SEDIMENT. ASSURE THAT THE STORM FLOW DOES NOT BYPASS THE INLET BY INSTALLING A TEMPORARY EARTH OR ASPHALT DIKE TO DIRECT THE FLOW TO THE INLET. <p>U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, PAGE 8-7-7, WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH</p>	<p>DETAIL 6E - AT GRADE INLET GUARD</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> AT EACH INTERSECTION OF INLET PROTECTOR OVERLAP A MINIMUM OF 2" <p>STANDARD INLET GUARD ATTACHMENT METHOD</p> <ul style="list-style-type: none"> THE TOP MEASUREMENT OF 7-1/2" IS SET TO PROVIDE A 2" EXTENSION FOR OVERFLOW WHILE AVOIDING BLOCKAGE OF THE MANHOLE COVER. MAKE A WATERTIGHT CONNECTION ALONG THE SIDES AND BOTTOM OF THE INLET GUARD WITH THE STREET AND CURB. <p>STANDARD INLET GUARD DIMENSIONS</p> <p>U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, PAGE 8-7-9, WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH</p>												
<p>DETAIL 74 - TREE PROTECTION</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> ALL PROTECTIVE FENCING SHALL EXTEND BEYOND THE TREE DRIPLINE. ALL PROTECTIVE FENCING SHALL EXTEND BEYOND THE TREE DRIPLINE. EXCESSIVE CUT AND FILL WILL KILL THIS TREE. PROPER PROCEDURE involves retaining walls and fill. <p>U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, PAGE 4-4-3, WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH</p>	<p>DETAIL 34 - PORTABLE SEDIMENT TANK (HORIZONTAL)</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> 55 GAL. DRUMS, OR SIMILAR, WELDED END TO END. ENDS OF BARRELS CUT TO ACT AS BAFFLES (TYP.). 3" DIA. INTAKE FROM SUMP PUMP. 5" DIA. HOSE TO SUITABLE OUTLET. 12" (APPROX.) CLEANOUT SLOT. CUT OUT (INTERIOR WALLS ONLY). APPROX. 3/4" DIA. BARREL END TO ACT AS BAFFLE. <p>SOURCE: USDA - SCS</p> <p>U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, PAGE C-26-3, WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH</p>	<p>DETAIL 35 - PORTABLE SEDIMENT TANK (VERTICAL)</p> <p>CONSTRUCTION SPECIFICATIONS</p> <ol style="list-style-type: none"> THE FOLLOWING FORMULA SHOULD BE USED IN DETERMINING THE STORAGE VOLUME OF THE SEDIMENT TANK: 1 CUBIC FOOT OF STORAGE FOR EACH GALLON PER MINUTE OF PUMP DISCHARGE CAPACITY. AN EXAMPLE OF A TYPICAL SEDIMENT TANK IS SHOWN ABOVE. OTHER CONTAINER DESIGNS CAN BE USED IF THE STORAGE VOLUME IS ADEQUATE AND APPROVAL IS OBTAINED FROM THE LOCAL APPROVING AGENCY. TANKS MAY BE CONNECTED IN SERIES. <p>U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, PAGE C-26-4, WATERSHED PROTECTION DIVISION, DISTRICT OF COLUMBIA DEPARTMENT OF HEALTH</p>												

SWRv and WQTV Summary

	Disturbed Public Right of Way	Site Development
Stormwater Retention Volume, SWRv (cubic feet)	0	2,589
Stormwater Retention Volume, SWRv (gallons)	0	19,367
Water Quality Treatment Volume, WQTV (cubic feet)	NA	NA
Water Quality Treatment Volume, WQTV (gallons)	NA	NA

SWM NOTE:
 THE SITE WILL RETAIN 2,589 CF (100%) OF THE STORMWATER RETENTION VOLUME THROUGH THE USE OF GREEN ROOF (1,897 CF, 73% OF SWRv) AND AN UNDERGROUND CISTERN (692 CF 27% OF SWRv).

-  PROPOSED GREEN ROOF
AREA = 14,095 SF
-  PROPOSED CISTERN
VOLUME = 1,525 CF



SWM CISTERN TO BE LOCATED WITHIN THE SUBSURFACE PARKING LEVEL. MAINTENANCE ACCESS TO CISTERN WILL BE FROM THE SUBSURFACE PARKING LEVEL. LADDER WILL BE PROPOSED TO ACCESS MANHOLES ON TOP OF THE CISTERN.

STORMWATER MANAGEMENT NARRATIVE:

CONCEPTUAL STORMWATER MANAGEMENT PROVIDED FOR PUD REVIEW ONLY. DURING THE FURTHER DEVELOPMENT OF THE PUD AND FORTHCOMING DEVELOPMENT OF THE FINAL SITE PLAN, STORMWATER MANAGEMENT DESIGN WILL BE ADVANCED TO REFLECT ADDITIONAL DETAILS. THE DESIGN CRITERIA FOR THE PROJECT INCLUDE:

- STORMWATER MANAGEMENT DESIGN WILL MEET OR EXCEED THE CURRENT STANDARDS OF THE DISTRICT OF COLUMBIA IN PLACE AT THE TIME OF PUD APPROVAL.
- THE STORMWATER RUNOFF WILL BE TREATED USING LOW IMPACT DEVELOPMENT BMP MEASURES
- THE STORMWATER RUNOFF WILL BE TREATED USING A COMBINATION OF ON-SITE AND OFF-SITE STORMWATER MANAGEMENT PRACTICES SUCH AS GREEN ROOF, BIORETENTION AREAS, AND CISTERNS FOR WATER REUSE.

NOTE: ONLY APPROXIMATE AREAS WHERE STORMWATER MANAGEMENT PRACTICES WILL BE LOCATED HAVE BEEN SHOWN ON THE PLAN, THE ACTUAL DESIGN OF THE FACILITIES WILL BE PROVIDED DURING FINAL SITE PLAN.

